



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

City Planning Commission

Date:	October 21, 2021	Case No.:	CPC-2008-619-ZC-DA-M1
Time:	After 8:30 a.m.	CEQA No.:	ENV-2021-3513-CE
Place:	Due to concerns over COVID-19, the CPC meeting will be conducted entirely telephonically by Zoom [https://zoom.us/]. The meeting's telephone number and access code access number will be provided no later than 72 hours before the meeting on the meeting agenda published at https://planning.lacity.org/about/commissionsboards-hearings and/or by contacting cpc@lacity.org	Related Case:	CPC-2021-3512-VZC-VCU
		Council No.:	5 – Koretz
		Plan Area:	Wilshire
		Specific Plan:	None
		Certified NC:	Mid City West
		General Plan Land Use Designation:	Regional Commercial
		Zone:	[T][Q]C2-2D-O
Public Hearing:	August 10, 2021	Applicant:	Richard B. Jacobs, Cedars-Sinai Medical Center
Appeal Status:	Not further appealable	Representative:	Jeffrey Haber & Michael Nytzen, Paul Hastings LLP

Expiration Date: October 24, 2021

Multiple Approval: No

PROJECT

LOCATION: 8700 West Beverly Boulevard (8575 West 3rd St; 8723 West Alden Dr; 8660-8730 West Beverly Blvd; 110 North George Burns Rd; 103-139 South George Burns Rd; 8705-8750 West Gracie Allen Dr; 111 North San Vicente Blvd)

PROPOSED PROJECT: The project involves the modification of existing [Q] and [D] conditions and the amendment to an existing Development Agreement in order to allow for the addition of a new 405,000 square-foot hospital wing with 203 patient beds pursuant to California's Alfred E. Alquist Hospital Facilities Seismic Safety Act, which requires that, by 2030, all acute care hospitals in California be able to withstand a major earthquake and remain functioning.

REQUESTED ACTIONS:

1. Pursuant to CEQA Guidelines Section 15302, Class 2 (replacement or reconstruction of existing hospitals to provide earthquake resistant structures which do not increase capacity by more than 50 percent), an Exemption from CEQA, and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies; and
2. Pursuant to Section 65868 of the State Government Code and Section 6.9 of the Cedars-Sinai Medical Center Developer Agreement, an amendment to extend the term by 15 years and allow the addition of a new 405,000 square-foot hospital wing with 203 patient beds.

RECOMMENDED ACTIONS:

1. **Determine** that based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15302, Class 2, and there is no substantial evidence

demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;

2. **Approve** and **recommend** that the **City Council approve** the amended Development Agreement between Cedars-Sinai Medical Center and the City of Los Angeles adopted by Ordinance Nos. 168,848, 178,866 (First Amendment), and 180,709 (Second Amendment); and
3. **Adopt** the attached Findings.

VINCENT P. BERTONI, AICP
Director of Planning



Heather Bleemers
Senior City Planner



Esther Ahn
City Planner

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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- Exhibit A – Proposed Amended Development Agreement
- Exhibit B – Proposed Ordinance
- Exhibit C – 2021 Annual Review Letter

PROJECT ANALYSIS

PROJECT SUMMARY

The proposed Third Amendment to the Development Agreement between Cedars-Sinai Medical Center and the City of Los Angeles proposes amendments to two provisions: (1) allow the addition of a new 405,000 square-foot hospital wing with 203 patient beds; and (2) extend the term by 15 years.

PROJECT BACKGROUND

June 23, 1993: The City Council approved a Zone Change and Height District Change for the Medical Center under Ordinance No. 168,847, as well as a Development Agreement with a term of 15 years, expiring in 2008 (together, the “Master Plan”). The Master Plan provided for 700,000 square feet of development as part of a comprehensive modernization and expansion program for the Medical Center campus.

In January of 1994, shortly after approval of the Master Plan, the Northridge earthquake occurred, damaging beyond repair the then existing Schuman and Brown Buildings on the Medical Center campus, as well as a parking structure on George Burns Road. The earthquake caused Cedars-Sinai to re-focus its development efforts on replacing these heavily damaged buildings in lieu of the planned construction of new buildings approved by the Master Plan. Instead of constructing the new Master Plan buildings, Cedars-Sinai replaced the destroyed Schuman and Brown Building with the Saperstein Critical Care Tower, completed in 2006. Cedars-Sinai also built a larger replacement parking structure on George Burns Road. In addition to the replacement facilities, Cedars-Sinai completed a number of infill projects throughout the Medical Center campus that were approved under the Master Plan. The net amount of development completed between 1993 and 2006 was approximately 135,000 square feet, leaving approximately 565,000 square feet of development rights remaining.

June 23, 2007: The City Council approved a 15-year extension of the Development Agreement, adopted by Ordinance No. 178,866 (First Amendment), until 2023, allowing Cedars-Sinai to undertake the remaining development that was approved in 1993. The 2007 amendment of the Development Agreement did not change the nature or the intensity of the 1993 approvals or Cedars-Sinai’s obligations under the Development Agreement.

October 13, 2009: The City Council approved another Zone Change and Height District Change, adopted by Ordinance No. 180,709 (Second Amendment), for the Medical Center to amend the 1993 Master Plan to allow the construction and operation of a new building called the West Tower. The West Tower would be constructed at the northwest corner of Alden Drive and George Burns Road, in place of the previously approved Rehabilitation Center and the existing Spielberg Building, which would be demolished. The 2009 approval authorized the addition of 200,000 square feet of floor area to the Medical Center campus, for an overall total of 2.62 million square feet, and limited the Medical Center’s floor area ratio (FAR) to 2.71:1. The West Tower, which has not yet been built, would be a stand-alone building that could accommodate medical related uses including inpatient services, medical suites, research, administrative, diagnostic, and emergency room space.

Also in 2009, Cedars-Sinai commenced construction of the Advanced Health Sciences Pavilion (the “Pavilion”), which was the first significant building project under the Master Plan, on the site previously approved for the Outpatient Treatment and Diagnostic Center and the Organ Transplant Wing.

Upon completion of the 393,320-square-foot Pavilion in 2013, Cedars-Sinai had developed a total of 526,670 square feet of floor area pursuant to the 1993 and 2009 approvals, leaving 373,330 square feet of remaining development rights. This remaining floor area, together with floor area of the existing Spielberg Building, is allocated for the development of the West Tower.

Master Plan and Project Approvals:

The Development Agreement included a public benefit for the orderly development of the project which is contingent upon the definitions of “Master Plan” and “Project Approvals.” The proposed language for consideration by the City Planning Commission would be revised to read as follows (~~strikeouts~~ for deletions and underlines for additions):

- 1.9** “**Master Plan**” means the Master Plan for the Cedars-Sinai Medical Center, approved under City Plan Case Nos. CPC 92-0530(ZC), CPC 92-0533(HD), and CPC 92-0534(DA), CPC 1992-534 (DA)(M1), CPC-2008-619-ZC-DA, CPC-2008-619-ZC-DA-M1, and CPC-2021-3512-VZC-VCU which provide for the expansion of the Cedars-Sinai Medical Center as described in Section 3.1.1 of this Agreement.
- 1.12** “**Project Approvals**” means the Zone Change, Height District Change and Development Agreement applications filed as (i) City Plan Case Nos. CPC 92-0530(ZC), CPC 92-0533(HD), and CPC 92-0534(DA), CPC 1992-534 (DA)(M1), and CPC-2008-619-ZC-DA, all as previously approved; and (ii) City Plan Case Nos. CPC-2008-619-ZC-DA-M1 and CPC-2021-3512-VZC-VCU, approved concurrently herewith.

Term:

The Development Agreement for the project defined the term in Section 6.2 to expire on August 11, 2023. The proposed language to reflect the term extension is as follows (~~strikeouts~~ for deletions and underlines for additions):

- 6.2** **Term.** The term of this Agreement (“Term”) shall commence on the Effective Date and shall extend until August 11, ~~2023~~ 2038, or the completion of the Project, whichever is earlier, unless said Term is otherwise terminated, modified, or extended by circumstances set forth in this Agreement or by mutual consent of the parties hereto. Following the expiration of this Term, this Agreement shall terminate and be of no further force and effect; provided, however, that this termination shall not affect any right or duty arising from entitlements or approvals, including the Project Approvals on the Property approved concurrently with, or subsequent to, the Effective Date of this Agreement. The Term of this Agreement shall automatically be extended for the period of time of any actual delay resulting from any enactments pursuant to the City’s Reserved Powers, and for any period during which the parties are engaged in dispute resolution.

PUBLIC HEARING AND OUTREACH

A public hearing on this matter was held by the Hearing Officer virtually on August 10, 2021 at 10:00 a.m. The hearing was attended by the Applicant team and approximately eight (8) people, including Debbie Dyer Harris, a representative of Council District 5. All participants who spoke during the public comment period were in support of the project.

Outside of the public hearing, eight (8) local organizations submitted letters expressing support for the project while one (1) member of the public had concerns over traffic impacts.

CONCLUSION

Based on the public hearing and information submitted to the record, staff recommends that the City Planning Commission find, based on its independent judgment, after consideration of the whole of the administrative record, that the project is categorically exempt from CEQA. Staff also recommends that the City Planning Commission approve the requested amendments to the Development Agreement between the Cedars-Sinai Medical Center and the City of Los Angeles.

FINDINGS

1. Pursuant to State Government Code Section 65868 et seq., a development agreement may be amended by mutual consent of the parties.
2. The City of Los Angeles (“City”) has adopted rules and regulations establishing procedures and requirements for consideration of development agreements under Citywide Development Agreement Procedures (CF 85-2313-S3). In addition, on November 19, 1992, the City Planning Commission adopted new guidelines for the processing of development agreement applications (CPC No. 86-404 MSC).
3. In accordance with Section 12.32 of the LAMC and California Government Code Section 65867, notification in the form of approximately 1,691 notices, within a 500-foot radius of the Project Site, were mailed out on July 14, 2021 to all occupants and property owners, neighborhood council and others as identified in the mailing affidavit located in the administrative record. Further, notice of the public hearing was posted on the project site on July 29, 2021, as identified in the proof of posting located in the administrative record.
4. Pursuant to Section 65867.5 of the Government Code, the requested amendment (the “Third Amendment”) to the Development Agreement would be consistent with the objectives, policies and programs specified in the General Plan, including the Wilshire Community Plan, and would be compatible with the uses authorized in, and the regulations prescribed for, the zone in which the real property is located. The proposed Third Amendment to the Development Agreement would allow an additional 405,000 square feet of entitlements (the “Project”) under the Master Plan, which itself was found and continues to be in conformance with the General Plan and Community Plan. The additional 405,000 square feet will be located within the Cedars-Sinai Medical Center campus and would not encroach onto neighboring properties or public rights-of-way. The General Plan Land Use map designates the site and campus as a Regional Commercial land use with a “Health Center” symbol. The established zoning of [T][Q]C2-2D-O over the building site and campus supports the use, density, and height of the additional 405,000 square feet.
5. The proposed Third Amendment to Development Agreement will not be detrimental to the public health, safety and general welfare because it encourages the construction of a project that would be desirable and beneficial to the public. The Project would be appropriately designed for the Project site in relationship to surrounding uses and the vision of the Wilshire community as set forth in the Wilshire Community Plan. The requested Third Amendment to the Development Agreement will ensure orderly development of the Project in accordance with good planning practices. The Third Agreement will vest Cedars-Sinai’s rights to develop the Project and provide assurances that the Project will proceed in accordance with all existing applicable rules, regulations, and conditions of approval imposed on the Project. Furthermore, the Third Amendment to the Development Agreement does not modify those provisions of the Development Agreement that specifically permit application to the Project of rules and regulations under Los Angeles Municipal Code Chapter V, Article 7 and Chapter IX, Article 1 relating to public health and safety.
6. The requested amendment will promote the orderly development of the subject property in accordance with good land use practice. The intensity, building height and uses set forth in the Third Amendment to Development Agreement are permitted by and consistent with the Wilshire Community Plan.
7. The proposed Third Amendment to Development Agreement complies with all applicable City and State regulations governing development agreements.

8. The proposed Third Amendment to Development Agreement is necessary to strengthen the public planning process and to reduce the public and private costs of development uncertainty. The public planning process benefits from the proposed Third Amendment to the Development Agreement because Cedars-Sinai and the City are assured that the Project, as approved, may be implemented in accordance with existing policies, rules and regulations and subject to conditions of approval. This reduces uncertainty for Cedars-Sinai and will reduce economic uncertainties associated with the development.
9. Based upon the above Findings, the proposed Third Amendment to Development Agreement is deemed consistent with public necessity, convenience, general welfare and good zoning practice.

Environmental Findings

10. **CEQA.** The Department of City Planning determined that the project is exempt from CEQA pursuant to CEQA Guidelines Section 15302, Class 2 (replacement or reconstruction of existing hospitals to provide earthquake resistant structures which do not increase capacity by more than 50 percent) and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
11. **Flood Insurance.** The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located in Zone X – areas of 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile.

EXHIBIT A

Proposed Amended Development Agreement

**RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:**

**Paul Hastings LLP
515 S. Flower Street, 25th Floor
Los Angeles, CA 90071
Attn: Jeffrey S. Haber**

THIRD AMENDMENT TO
DEVELOPMENT AGREEMENT

This Amendment to Development Agreement (the “Third Amendment”) is entered into as of the ___ day of _____, 2021 by and between the CITY OF LOS ANGELES, a municipal corporation (the “City”) and CEDARS-SINAI MEDICAL CENTER (“Cedars-Sinai”).

RECITALS

- A. The City and Cedars-Sinai entered into that certain Development Agreement dated August 12, 1993, and recorded on August 16, 1993, in the Official Records of Los Angeles County, California as Instrument No. 93-1590786 (the “Development Agreement”) after adoption by the City Council of Ordinance No. 168847 and 168848 on June 23, 1993. These approvals constituted the City's approval of the Master Plan for the Cedars-Sinai Medical Center (the "Master Plan").
- B. The City and Cedars-Sinai entered into that certain amendment to the Development Agreement on August 10, 2007 to permit extension of the term of the Development Agreement to August 11, 2023, and recorded on August 13, 2007, in the Official Records of Los Angeles County, California as Instrument 20071898043 after adoption by the City Council of Ordinance No. 178866 on June 23, 2007 (the “First Amendment”).
- C. The City and Cedars-Sinai entered into that certain amendment to the Development Agreement on January 5, 2010 to amend the Development Agreement to modify the provisions relating to Zone Change Ordinance No. 180709, allowing the addition of 200,000 square feet of floor area, and recorded on January 6, 2010, in the Official Records of Los Angeles County, California as Instrument 20100017882 after adoption by the City Council of Ordinance No. 180911 on October 13, 2009 (the “Second Amendment”).
- D. The Development Agreement currently expires by its terms on August 11, 2023.

- E. Cedars-Sinai wishes to expand the Master Plan by 203 inpatient beds, in a 405,000-square-foot addition to the existing Professional and North Patient Towers and the Saperstein Critical Care Tower.
- F. The City approved Zone Change Ordinance No. _____ to allow for the expansion of the Master Plan.
- G. The City and Cedars-Sinai wish to amend the Development Agreement, pursuant to Section 6.9 thereof, to modify the provisions regarding the term of the Development Agreement to extend the term an additional 15 years to August 11, 2038.
- H. The City and Cedars-Sinai wish to amend the Development Agreement, pursuant to Section 6.9 thereof, to modify the provisions relating to Zone Change Ordinance No. _____.

NOW, THEREFORE, the City and Cedars-Sinai hereby agree to amend the Development Agreement as follows:

- 1. Section 1.9 is hereby deleted and replaced in its entirety as follows:

"Master Plan" means the Master Plan for the Cedars-Sinai Medical Center, approved under City Plan Case Nos. CPC 92-0530(ZC), CPC 92-0533(HD), CPC 92-0534(DA), CPC 1992-534 (DA)(M1), CPC-2008-619-ZC-DA, CPC-2008-619-ZC-DA-M1, and CPC-2021-3512-VZC-VCU which provide for the expansion of the Cedars-Sinai Medical Center as described in Section 3.1.1 of this Agreement.

- 2. Section 1.12 is hereby deleted and replaced in its entirety as follows:

"Project Approvals" means the Zone Change, Height District Change and Development Agreement applications filed as (i) City Plan Case Nos. CPC 92-0530(ZC), CPC 92-0533(HD), CPC 92-0534(DA), CPC 1992-534 (DA)(M1), and CPC-2008-619-ZC-DA, all as previously approved; and (ii) City Plan Case Nos. CPC-2008-619-ZC-DA-M1 and CPC-2021-3512-VZC-VCU, approved concurrently herewith.

- 3. Section 6.2 is hereby deleted and replaced in its entirety as follows:

Term. The term of this Agreement ("Term") shall commence on the Effective Date and shall extend until August 11, 2038, or the completion of the Project, whichever is earlier, unless said Term is otherwise terminated, modified, or extended by circumstances set forth in this Agreement or by mutual consent of the parties hereto. Following the expiration of this Term, this Agreement shall terminate and be of no further force and effect; provided, however, that this termination shall not affect any right or duty arising from entitlements or approvals, including the Project Approvals on the Property approved concurrently with, or subsequent to, the Effective Date of this Agreement. The Term of this Agreement shall

automatically be extended for the period of time of any actual delay resulting from any enactments pursuant to the City's Reserved Powers, and for any period during which the parties are engaged in dispute resolution.

4. Exhibit B, as referenced in the Development Agreement, shall be replaced in its entirety with the attached Exhibit B.
5. Exhibit D, as referenced in the Development Agreement at Sections 3.1.1.c. and 3.1.1.d., shall be replaced in its entirety with the attached Exhibit D.
6. Exhibit E, as referenced in the Development Agreement at Section 1.2., shall be replaced in its entirety with the attached Exhibit E.
7. If any provision of this Amendment should be determined by a court to be invalid or unenforceable, the remaining provisions of this Amendment shall remain in full force and effect and continue to be binding on both parties.

Except as amended herein, the Development Agreement remains in full force and effect.

IN WITNESS WHEREOF, the parties have each executed this Second Amendment as of the date first above written.

Approved as to Form and Legality:

CITY OF LOS ANGELES

_____, 2021

MICHAEL N. FEUER, City Attorney

By: _____
ERIC GARCETTI, Mayor

By: _____
[NAME]
Deputy City Attorney

CEDARS-SINAI MEDICAL CENTER

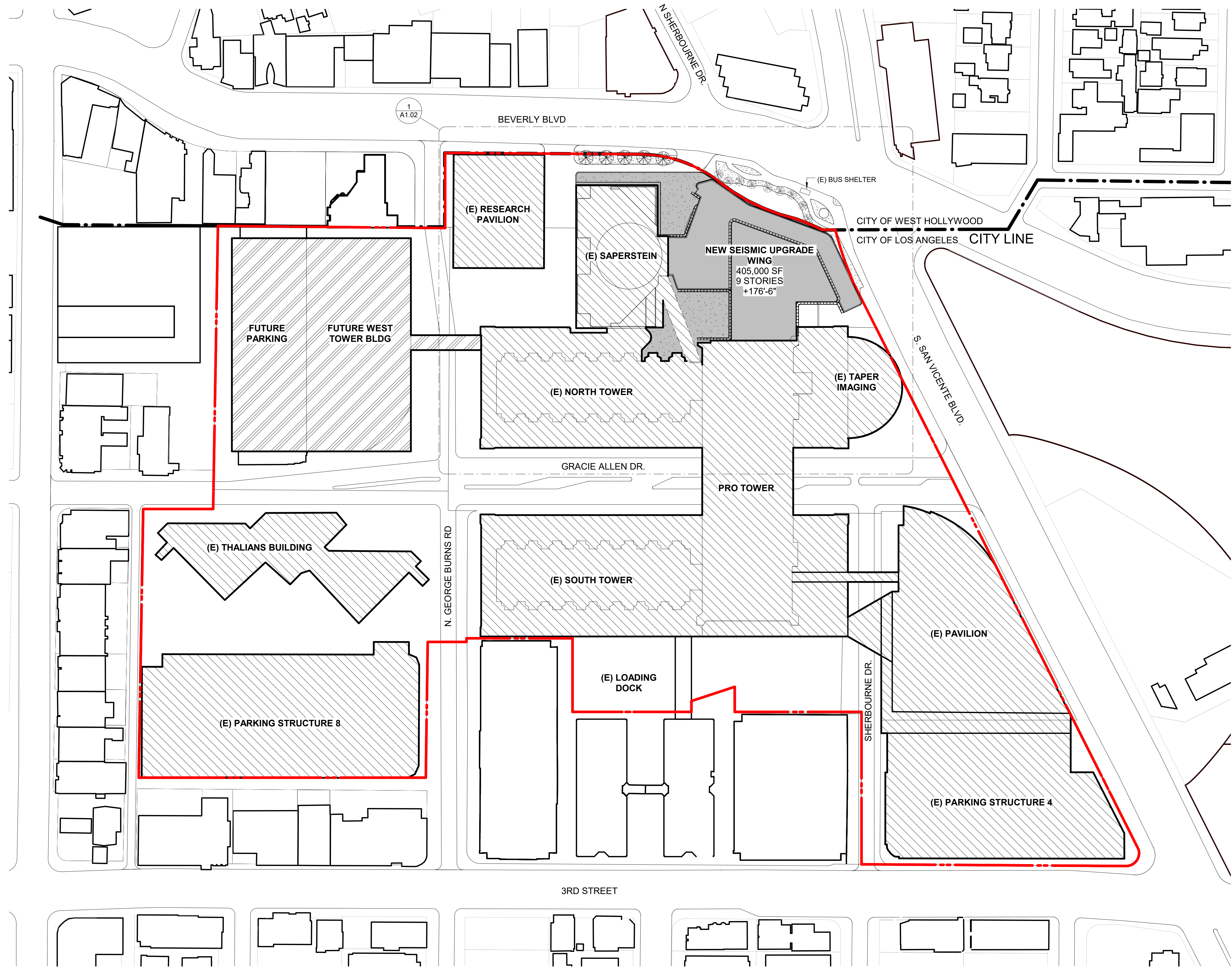
By: _____
Name: Terri W. Cammarano, Esq.
Its: Senior Vice President of Legal Affairs and
General Counsel

Attest: HOLLY L. WOLCOTT, City Clerk

By: _____
Deputy

By: _____
Name: Thomas M. Priselac
Its: President and Chief Executive Officer

Exhibit B



- DRAWING LEGEND**
- NEW SEISMIC UPGRADE WING
 - EXISTING BUILDING TO REMAIN
 - BUILDING APPROVED BY ORDINANCE NO. 180,709
 - EXTERIOR LANDSCAPING
 - PROPERTY LINE (CITY OF LOS ANGELES PROPERTIES)
 - CITY LINE



ARCHITECT
CO ARCHITECTS
 5055 Wilshire Boulevard, 9th Floor
 Los Angeles, California 90036
 323.525.0500 phone, 323.525.0955 fax

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

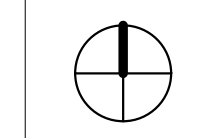
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LOCATION MAP

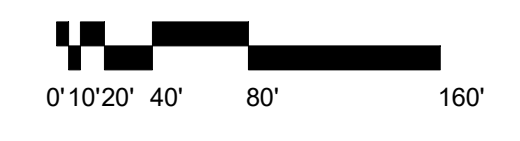
CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/29/21	SHEET NUMBER

SCALE
As indicated

A1.01



1 CEDARS-SINAI CAMPUS PLAN
 1" = 80'-0"



B1

7/29/2021 3:12:24 PM

Exhibit D

Development Intensity of Project/Maximum Building Heights

Development Intensity

The Zone Change and associated Development Agreement (approved by Ordinance Nos. 180,709 and 180,911; collectively, the “Master Plan”) allowed construction of a maximum gross floor area on the subject property of 2.62 million square feet with a maximum overall floor area ratio of 2.71:1.

The chart below describes the uses permitted under the Master Plan, the development and equivalent uses that have occurred, and the remaining development rights.

Cedars-Sinai Master Plan Authorized Development								
Permitted Development Rights under Master Plan	Computer Room Development 1993	Pediatric Balcony Enclosure 1994	Emergency Rm. Exp. 1995	Imaging Bldg. Development 1999	Spielberg Elevator Installation 1999	Saperstein Critical Care Tower 2002	Advanced Health Sciences Pavilion 2008	Remaining Development Rights 2021
Medical Suites (209,000 sf)							118,420	90,580
Diagnostic (90,000 sf)				12,000			44,500	33,500
Support (41,000 sf)				14,378			15,600	11,022
Organ Transplant (170,000 sf)						59,849	110,151	0
Rehabilitation (127,500 sf)							94,500	33,000
Imaging (21,000 sf)				21,000				0
Administrative (23,300 sf)		1,000	6,405		628		10,149	5,118
Emergency Room (3,700 sf)			3,590					110
Computer Service (14,500 sf)	14,500							0
Inpatient (200,000)								200,000
Total	14,500	1,000	9,995	47,378	628	59,849	393,320	373,330

The new Zoning Ordinance resulting from the requested Zone Change, as well as the associated Development Agreement Amendment will add 405,000 square feet of inpatient hospital space to the approved development under the Master Plan.

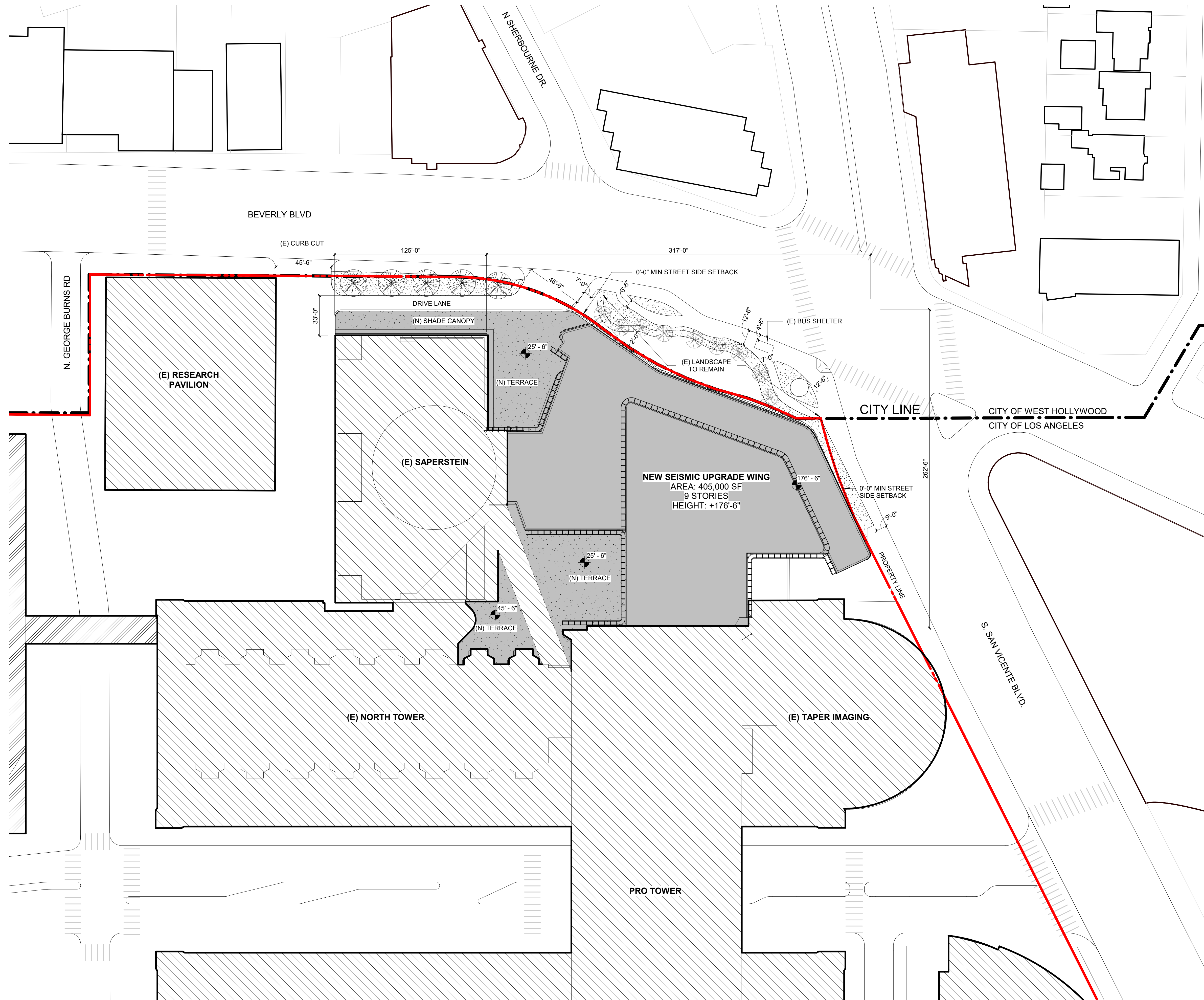
The total gross floor area contained in all buildings on the subject property shall not exceed 3.025 million square feet. In no event shall the overall floor area ratio of the subject property exceed 2.89:1.

Floor area (sf) shall be calculated as defined in Los Angeles Municipal Code Section 12.03.

Building Height

No building or structure on the subject property shall exceed one hundred eighty five (185) feet in height above grade as defined by Los Angeles Municipal Code Sections 12.21.1-B.3a and b.

Exhibit E



DRAWING LEGEND

- NEW SEISMIC UPGRADE WING
- EXISTING BUILDING TO REMAIN
- BUILDING APPROVED BY ORDINANCE NO. 180,709
- EXTERIOR LANDSCAPING
- SPOT ELEVATION

SUMMARY TABLE

SITE AREA	65,673 SF
IMPERVIOUS AREA	49,717 SF (1.14 ACRES)
PERVIOUS AREA	15,956 SF (0.36 ACRES)
BUILDING HEIGHT	176'-6"

BOUNDARIES

- PROPERTY LINE (CITY OF LOS ANGELES PROPERTIES)
- CITY LINE

BUILDING INFORMATION

SITE ADDRESS	8700 BEVERLY BLVD LOS ANGELES, CA 90048
AREA CALCULATIONS	
NEW SEISMIC UPGRADE WING	405,000 SF
NEW NUMBER OF BEDS	203 BEDS
NEW TERRACES	12,000 SF
NEW LANDSCAPING	2,700 SF
FLOOR AREA RATIO FOR MEDICAL CENTER CAMPUS	
NET FLOOR AREA/SITE AREA	3,025,000 SF/ 1,048,001.5 SF= 2.89-1



ARCHITECT
CO ARCHITECTS
5055 Wilshire Boulevard, 9th Floor
Los Angeles, California 90036
323.525.0500 phone, 323.525.0955 fax

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

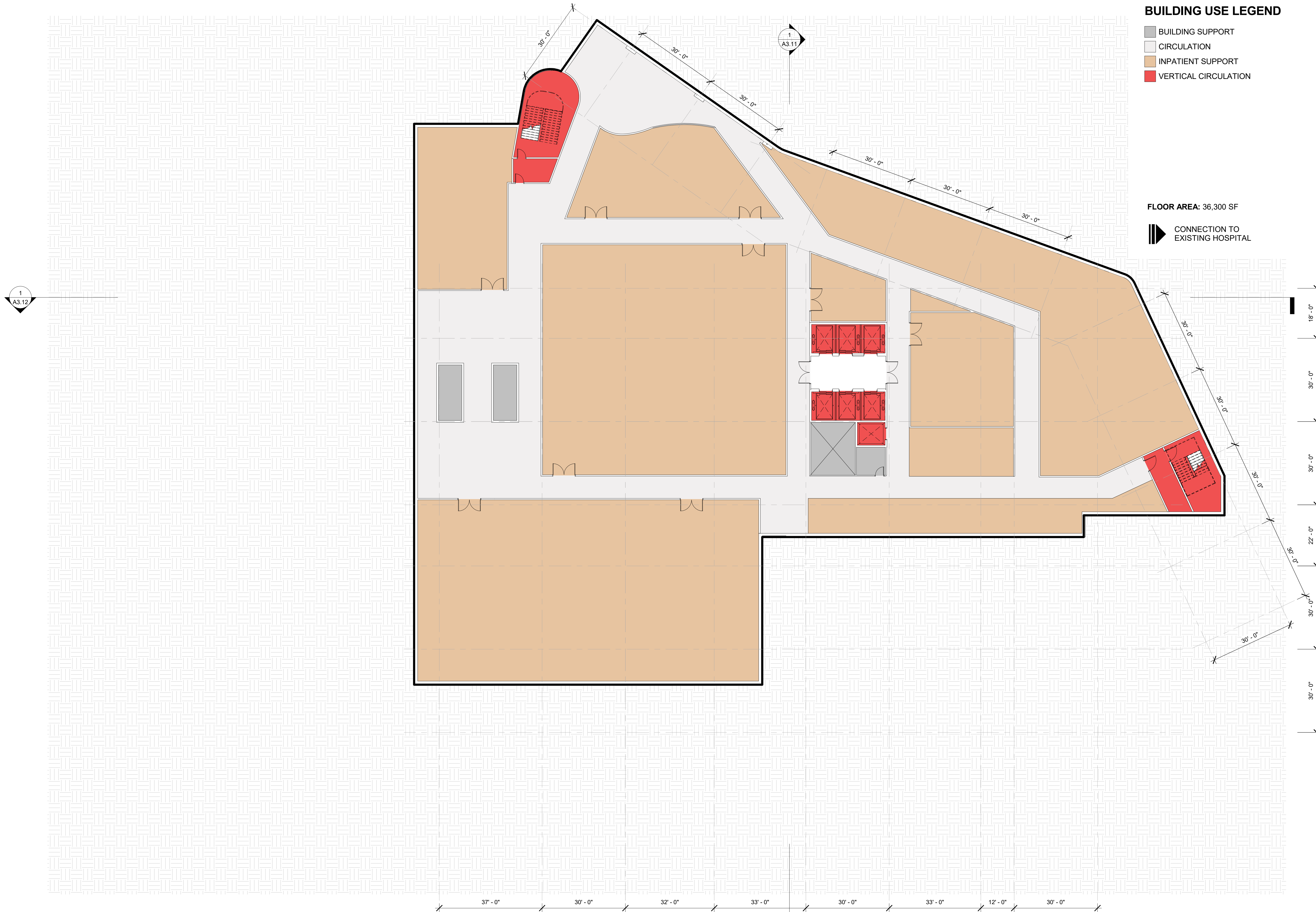
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
SITE PLAN

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/29/21	SHEET NUMBER A1.02
SCALE As indicated	

1 SITE PLAN
1" = 40'-0"



BUILDING USE LEGEND

- BUILDING SUPPORT
- CIRCULATION
- INPATIENT SUPPORT
- VERTICAL CIRCULATION

FLOOR AREA: 36,300 SF

CONNECTION TO EXISTING HOSPITAL



8700 BEVERLY BOULEVARD
LOS ANGELES, CA 90048



5055 Wilshire Boulevard, 9th Floor
Los Angeles, California 90036
323.525.0500 phone, 323.525.0955 fax

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

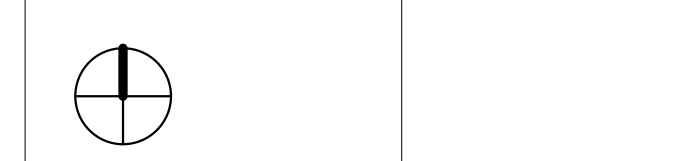
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

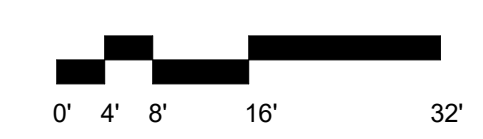
SHEET TITLE
LOWER LEVEL 2 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER

SCALE
1/16" = 1'-0"



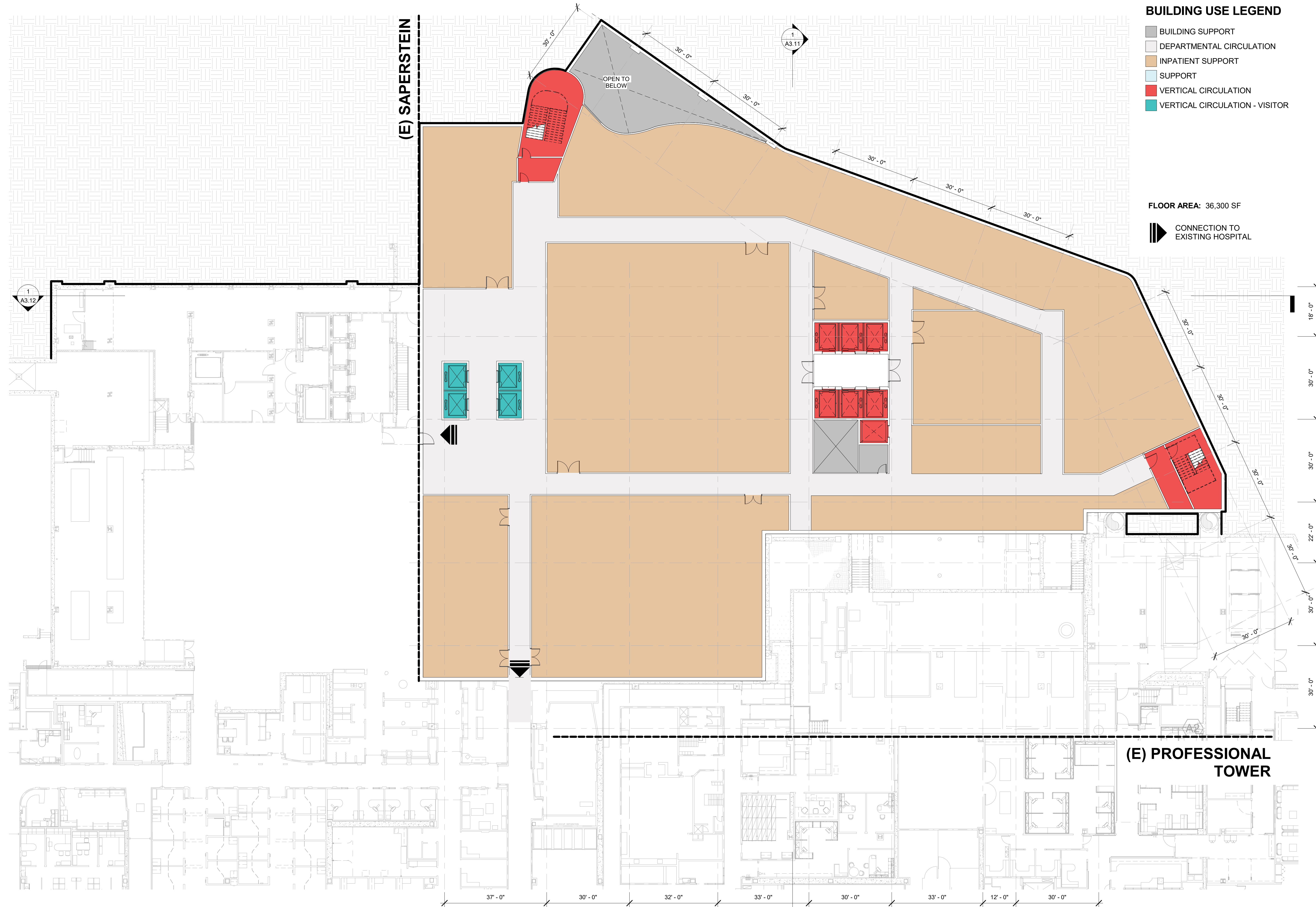
1 LOWER LEVEL 2
1/16" = 1'-0"



E2

A2.10A

4/13/2021 11:17:59 AM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - INPATIENT SUPPORT
 - SUPPORT
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR

FLOOR AREA: 36,300 SF

▶ CONNECTION TO EXISTING HOSPITAL



ARCHITECT
CO ARCHITECTS
 5055 Wilshire Boulevard, 9th Floor
 Los Angeles, California 90036
 323.525.0500 phone, 323.525.0955 fax

REVISION-DATE
AGENCY APPLICATION NUMBER
AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

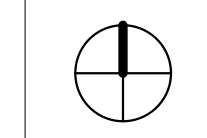
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LOWER LEVEL 1 OVERALL FLOOR PLAN

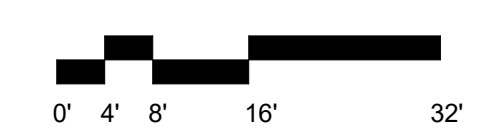
CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER

SCALE
 1/16" = 1'-0"

A2.10B



1 LOWER LEVEL 1
 1/16" = 1'-0"



E3

4/13/2021 11:18:00 AM



BUILDING USE LEGEND

- BUILDING SUPPORT
- DEPARTMENTAL CIRCULATION
- DEPARTMENTAL SUPPORT
- INPATIENT SUPPORT
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR
- VISITOR CIRCULATION

FLOOR AREA: 37,000 SF

CONNECTION TO EXISTING HOSPITAL



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ARCHITECT



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REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
STREET LEVEL OVERALL FLOOR PLAN

CSMC PROJECT NO.
16-402

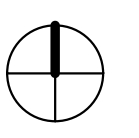
CONSULTANT PROJ. NO.
21501.00

DATE
07/29/21

SHEET NUMBER

SCALE
1/16" = 1'-0"

A2.11



1 STREET LEVEL
1/16" = 1'-0"

E4

0' 4' 8' 16' 32'

7/29/2021 3:12:36 PM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - DEPARTMENTAL SUPPORT
 - OUTDOOR SPACE
 - PATIENT BED
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR
 - VISITOR CIRCULATION

FLOOR AREA: 49,200 SF
BED COUNT: 34
 CONNECTION TO EXISTING HOSPITAL



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AGENCY APPLICATION NUMBER
AGENCY APPROVAL STAMP

BUILDING TITLE
 SEISMIC UPGRADE WING

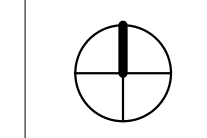
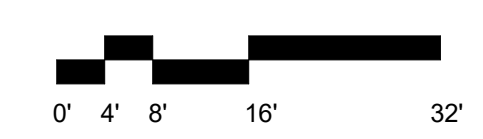
PROJECT TITLE
 CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
 PLAZA OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER A2.12
SCALE 1/16" = 1'-0"	

1 PLAZA
 1/16" = 1'-0"

E5



4/13/2021 11:18:10 AM



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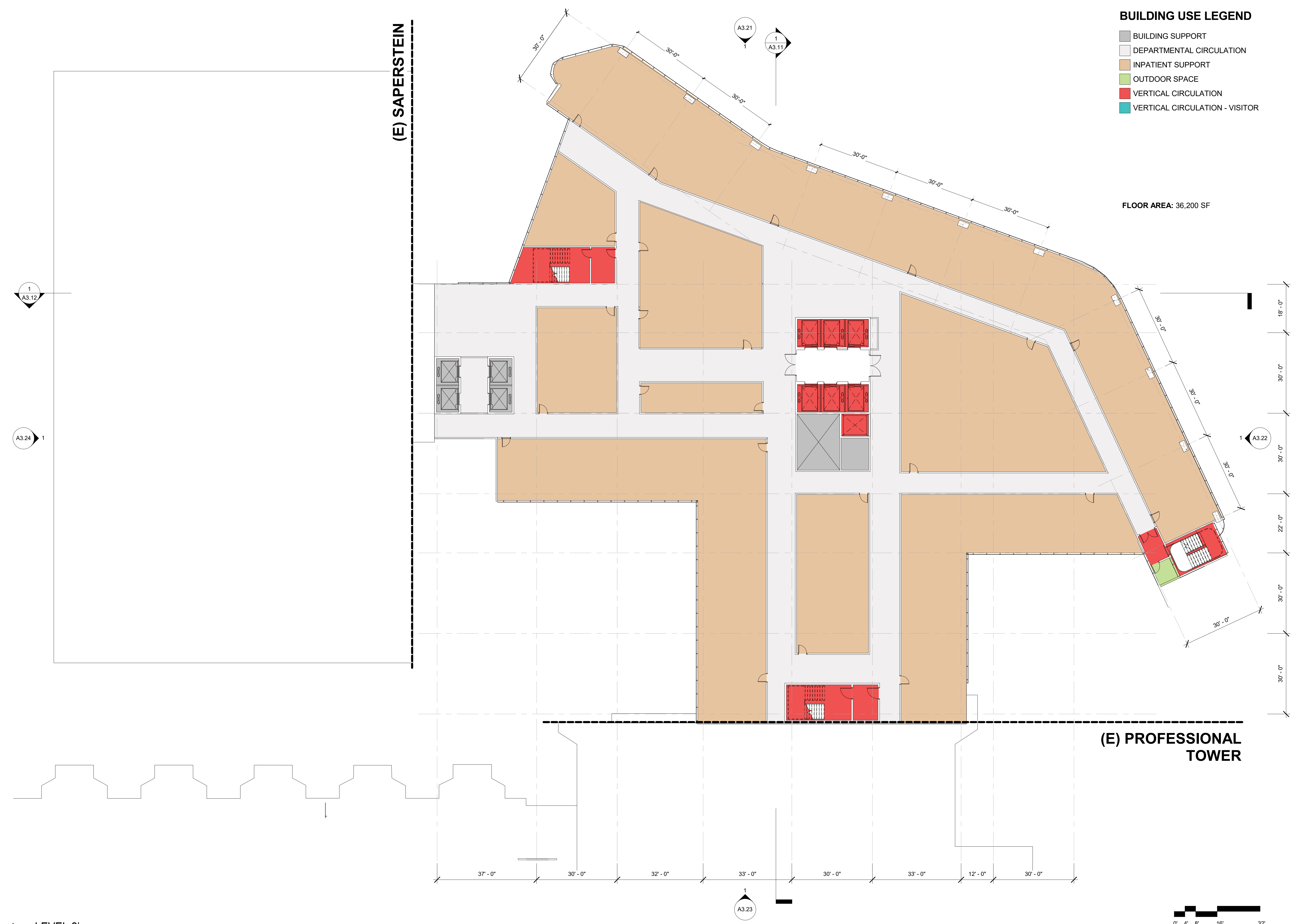
BUILDING USE LEGEND

- BUILDING SUPPORT
- DEPARTMENTAL CIRCULATION
- INPATIENT SUPPORT
- OUTDOOR SPACE
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR

FLOOR AREA: 36,200 SF

(E) SAPERSTEIN

(E) PROFESSIONAL TOWER



1 LEVEL 2i
1/16" = 1'-0"

E6

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

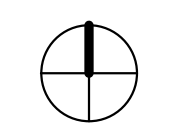
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 2i OVERALL FLOOR PLAN

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER

SCALE 1/16" = 1'-0"	A2.12i
------------------------	---------------



4/13/2021 11:18:11 AM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - DEPARTMENTAL SUPPORT
 - OUTDOOR SPACE
 - PATIENT BED
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR
 - VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 25
 CONNECTION TO EXISTING HOSPITAL



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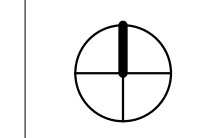
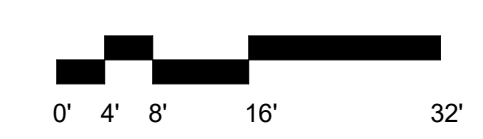
BUILDING TITLE
SEISMIC UPGRADE WING
 PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 3 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402
 CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21
 SCALE 1/16" = 1'-0"
A2.13

1 LEVEL 3
 1/16" = 1'-0"



4/13/2021 11:18:15 AM



BUILDING USE LEGEND

- BUILDING SUPPORT
- DEPARTMENTAL CIRCULATION
- DEPARTMENTAL SUPPORT
- OUTDOOR SPACE
- PATIENT BED
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR
- VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 36
 CONNECTION TO EXISTING HOSPITAL



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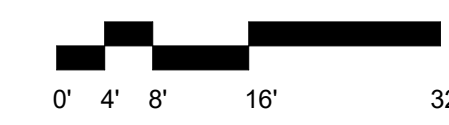
BUILDING TITLE
SEISMIC UPGRADE WING
 PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

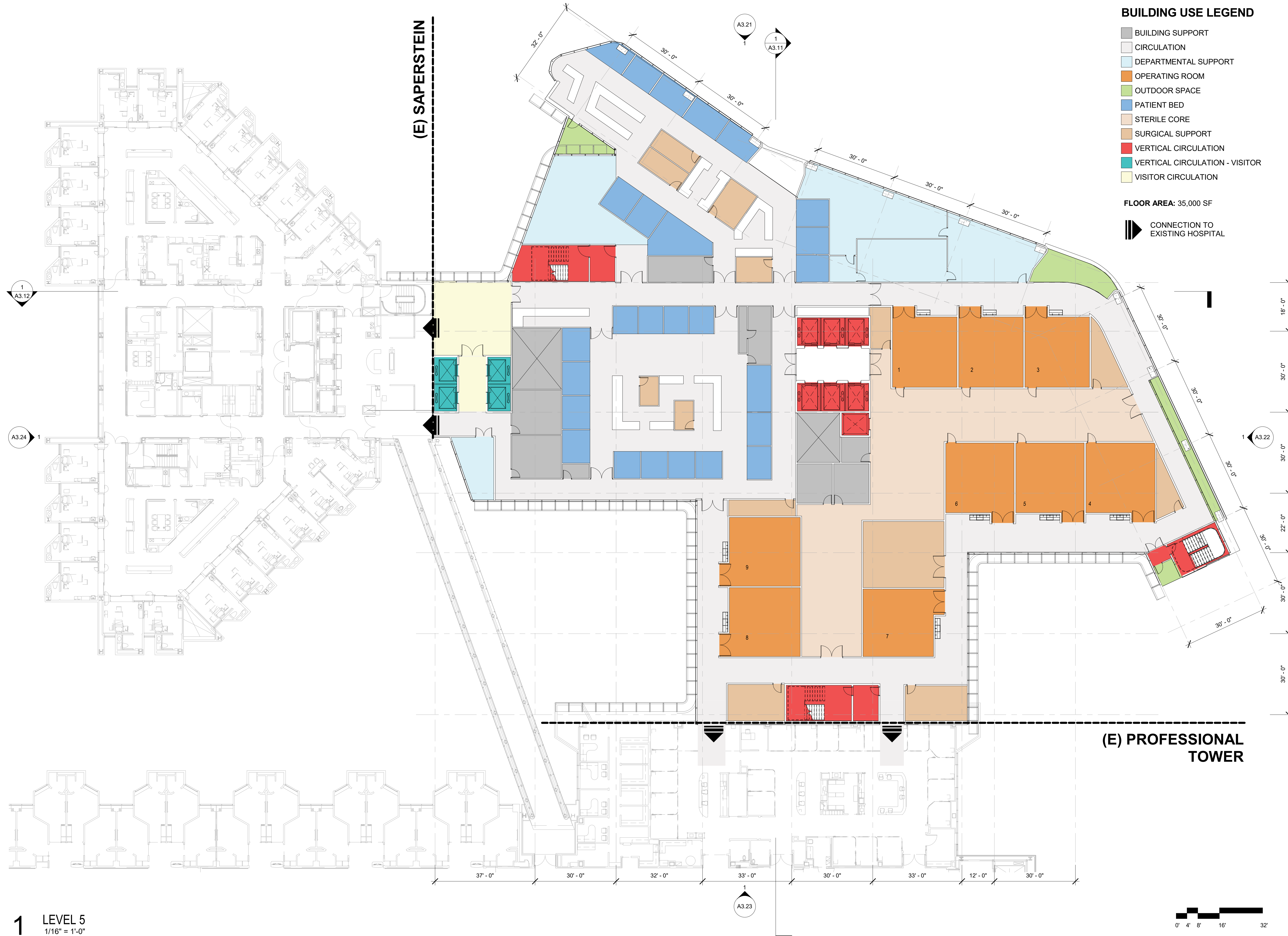
SHEET TITLE
LEVEL 4 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402
 CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21
 SCALE 1/16" = 1'-0"
 SHEET NUMBER **A2.14**

1 LEVEL 4
 1/16" = 1'-0"





BUILDING USE LEGEND

- BUILDING SUPPORT
- CIRCULATION
- DEPARTMENTAL SUPPORT
- OPERATING ROOM
- OUTDOOR SPACE
- PATIENT BED
- STERILE CORE
- SURGICAL SUPPORT
- VERTICAL CIRCULATION
- VERTICAL CIRCULATION - VISITOR
- VISITOR CIRCULATION

FLOOR AREA: 35,000 SF

▶ CONNECTION TO EXISTING HOSPITAL



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BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 5 OVERALL FLOOR PLAN

CISM PROJECT NO.
16-402

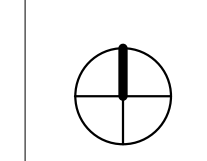
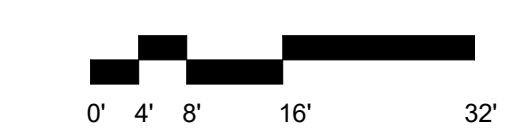
CONSULTANT PROJ. NO.
21501.00

DATE
04/13/21

SCALE
1/16" = 1'-0"

SHEET NUMBER
A2.15

1 LEVEL 5
1/16" = 1'-0"



4/13/2021 11:18:23 AM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - DEPARTMENTAL SUPPORT
 - OUTDOOR SPACE
 - PATIENT BED
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR
 - VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 36
 CONNECTION TO EXISTING HOSPITAL



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BUILDING TITLE
SEISMIC UPGRADE WING
 PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

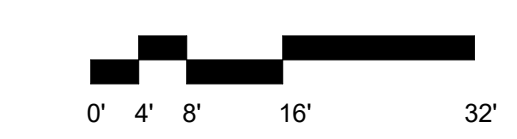
SHEET TITLE
LEVEL 6 OVERALL FLOOR PLAN

CISM PROJECT NO.
 16-402
 CONSULTANT PROJ. NO.
 21501.00

DATE
 04/13/21
 SCALE
 1/16" = 1'-0"

A2.16

1 LEVEL 6
 1/16" = 1'-0"



E10

4/13/2021 11:18:29 AM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - DEPARTMENTAL SUPPORT
 - OUTDOOR SPACE
 - PATIENT BED
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR
 - VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 36
 CONNECTION TO EXISTING HOSPITAL



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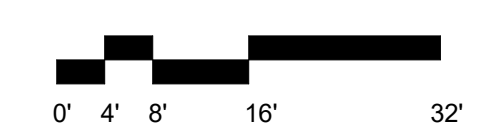
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 7 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER A2.17
SCALE 1/16" = 1'-0"	

1 LEVEL 7
 1/16" = 1'-0"



E11

4/13/2021 11:18:35 AM



- BUILDING USE LEGEND**
- BUILDING SUPPORT
 - DEPARTMENTAL CIRCULATION
 - DEPARTMENTAL SUPPORT
 - OUTDOOR SPACE
 - PATIENT BED
 - VERTICAL CIRCULATION
 - VERTICAL CIRCULATION - VISITOR
 - VISITOR CIRCULATION

FLOOR AREA: 35,000 SF
BED COUNT: 36

▶ CONNECTION TO EXISTING HOSPITAL



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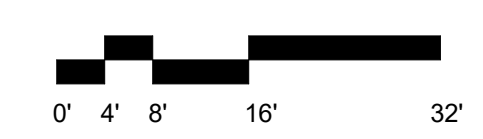
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 8 OVERALL FLOOR PLAN

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER
SCALE 1/16" = 1'-0"	A2.18

1 LEVEL 8
 1/16" = 1'-0"



E12

4/13/2021 11:18:40 AM



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AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
ROOF OVERALL FLOOR PLAN

CSMC PROJECT NO.

16-402

CONSULTANT PROJ. NO.

21501.00

DATE

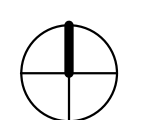
04/13/21

SCALE

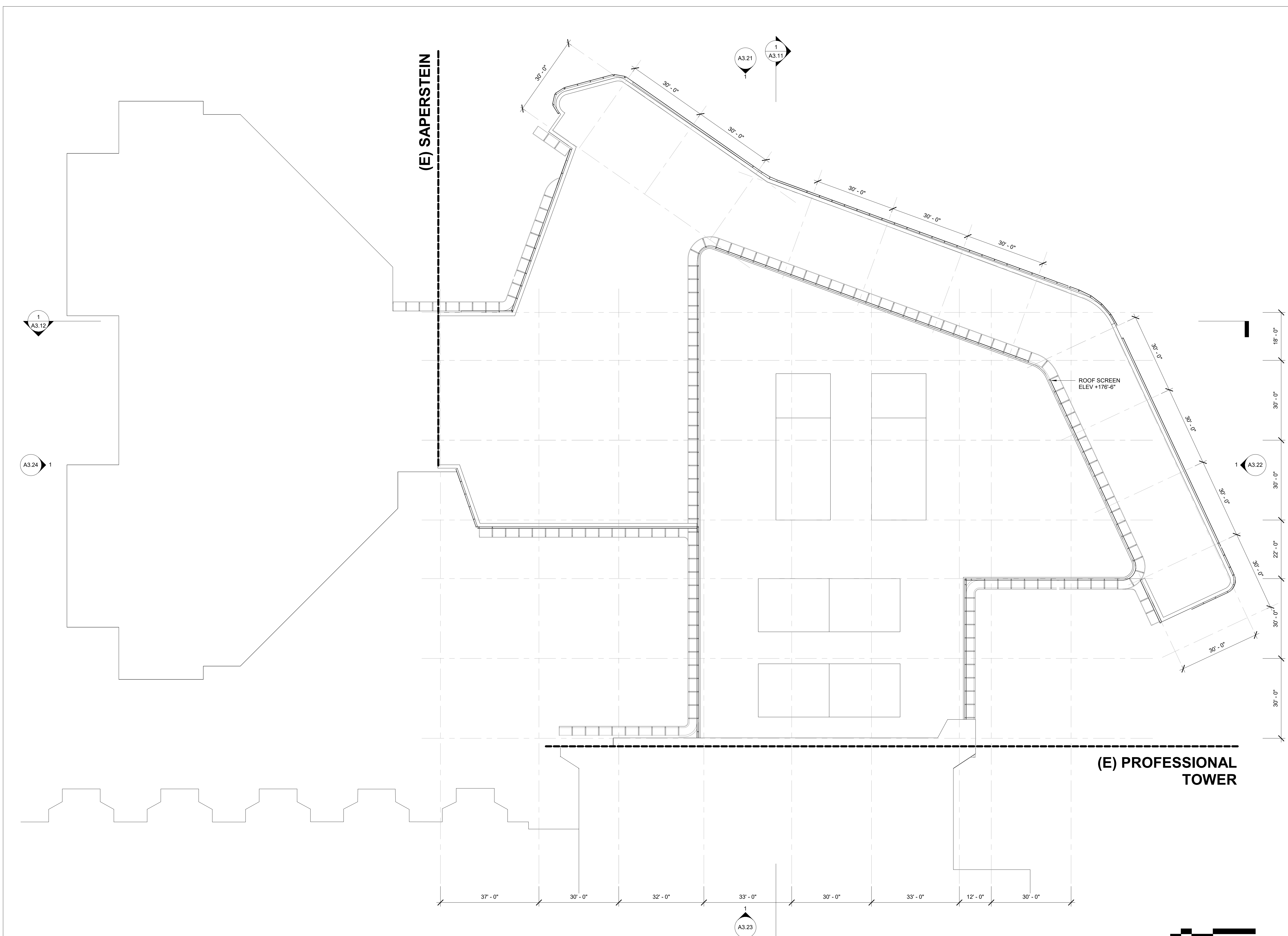
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SHEET NUMBER

A2.19

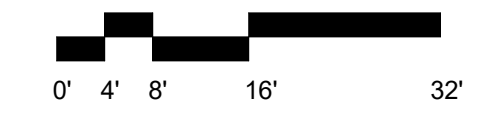


4/13/2021 11:18:43 AM



1 ROOF PLAN
1/16" = 1'-0"

E13



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AGENCY APPROVAL STAMP

BUILDING TITLE
**SEISMIC UPGRADE
WING**

PROJECT TITLE
**CEDARS-SINAI MEDICAL
CENTER**

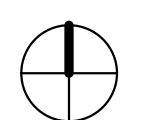
SHEET TITLE
**BUILDING SECTION
(OVERALL)**

CSMC PROJECT NO.
16-402

CONSULTANT PROJ. NO.
21501.00

DATE
04/13/21
SCALE
1" = 20'-0"

SHEET NUMBER
A3.11



1 NORTH-SOUTH SECTION
1" = 20'-0"



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AGENCY APPROVAL STAMP

BUILDING TITLE

SEISMIC UPGRADE WING

PROJECT TITLE

CEDARS-SINAI MEDICAL CENTER

SHEET TITLE

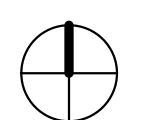
BUILDING SECTION (OVERALL)

CSMC PROJECT NO.
16-402

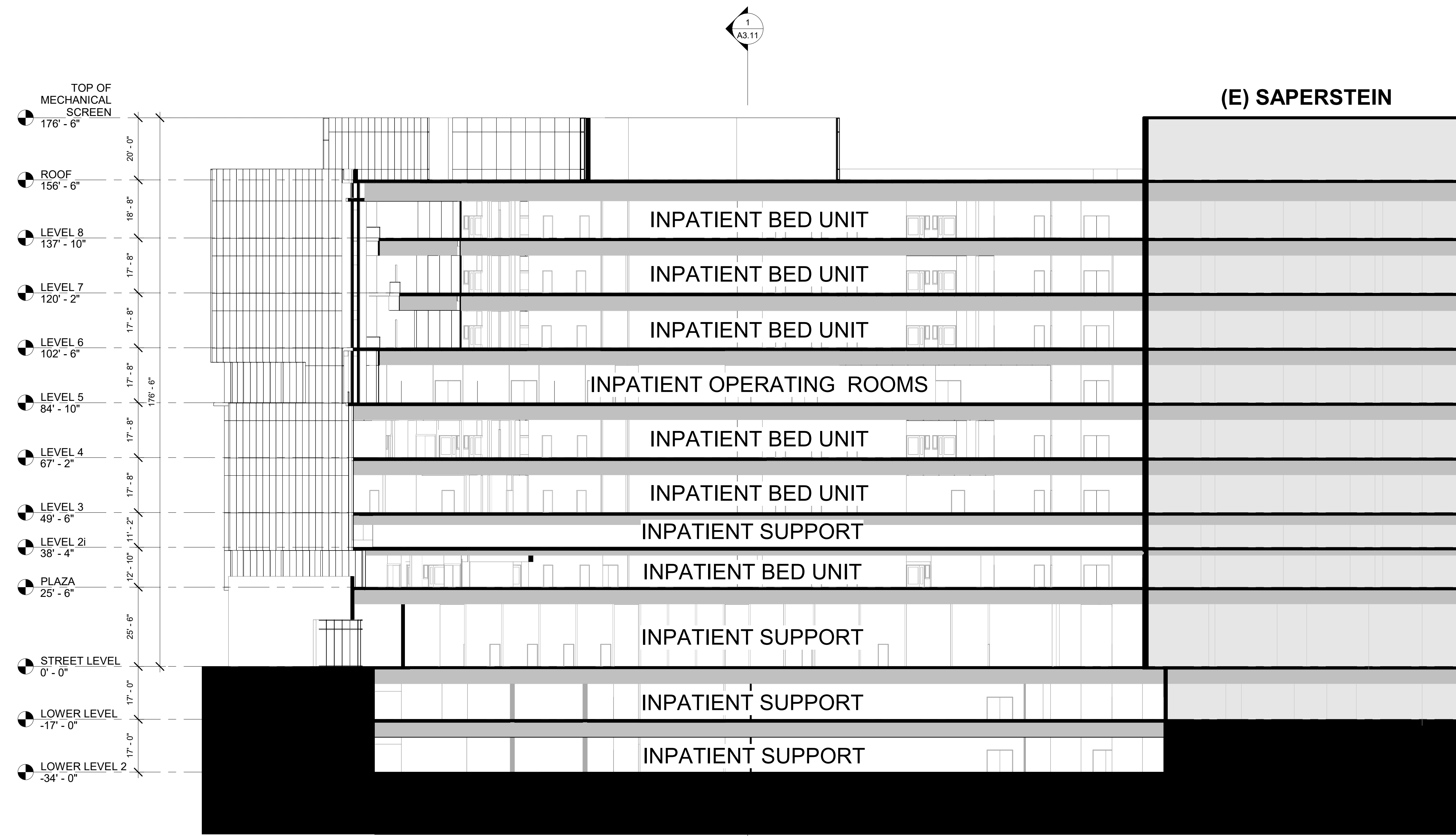
CONSULTANT PROJ. NO.
21501.00

DATE
04/13/21
SCALE
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SHEET NUMBER
A3.12



4/13/2021 11:18:48 AM



1 EAST-WEST SECTION
1" = 20'-0"

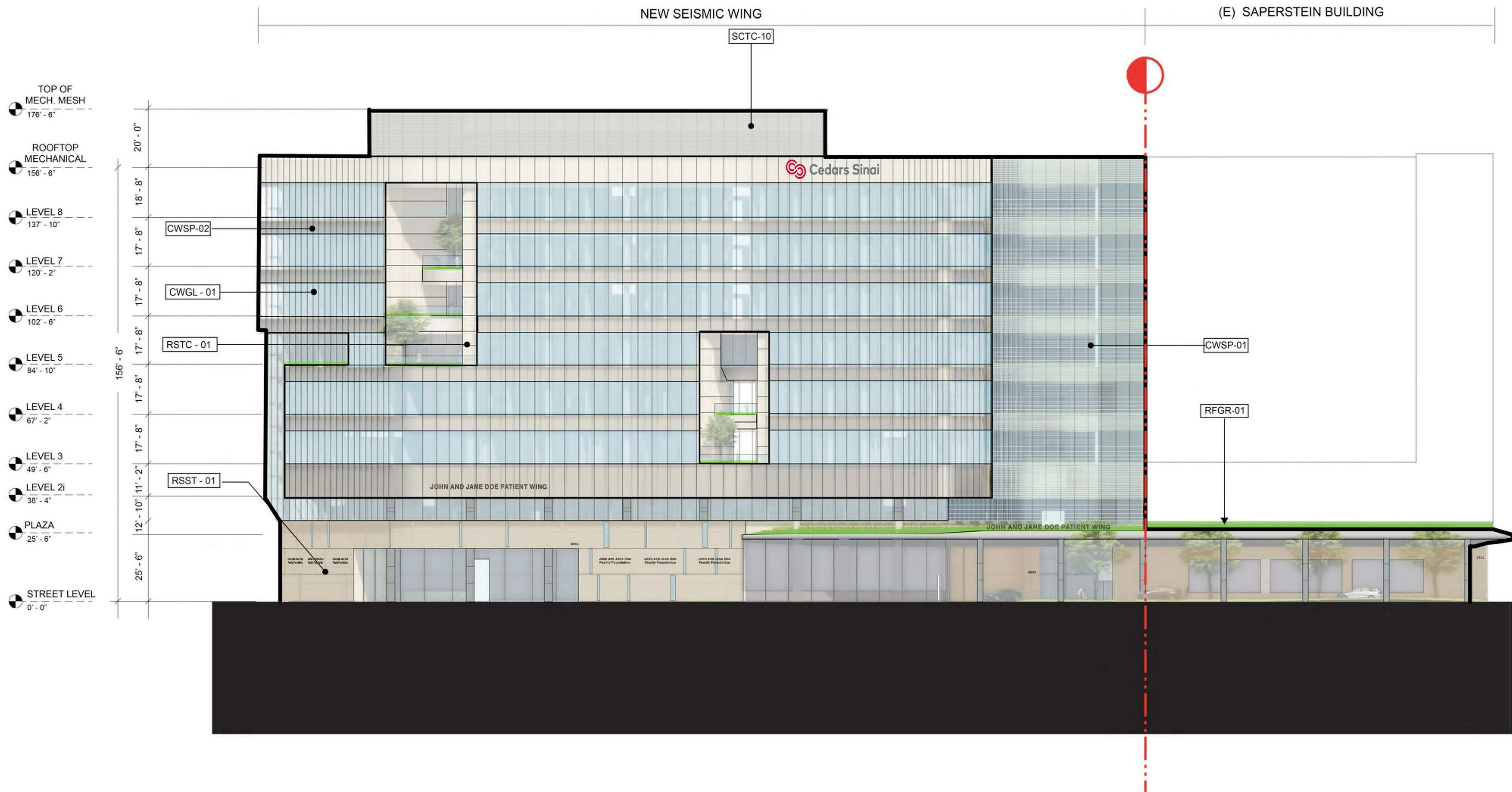
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RSTC-01	MASONRY RAIN SCREEN
RSTC-02	MASONRY COLUMN COVER
RSMT-10	STAINLESS STEEL PANEL
SCTC-10	SUN SCREEN
CWMT-01	METAL PANEL
CWGL-01	VISION GLASS
CWGL-02	TRANSLUCENT GLASS
CWSP-01	STAINLESS SPANDRAL
CWSP-02	MASONRY SPANDRAL
RL-SS-01	STAINLESS STEEL RAILING
RL-GL	GLASS RAIL
RFGR-01	GREEN ROOF



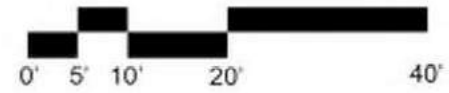
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1 NORTH ELEVATION
1/20" = 1'



REVISION-DATE

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AGENCY APPROVAL STAMP

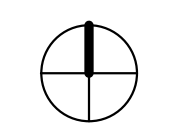
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
NORTH ELEVATION

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
----------------------------	----------------------------------

DATE 07/16/21	SHEET NUMBER A3.21
SCALE	



RSST-01	STONE
RSTC-01	MASONRY RAIN SCREEN
RSTC-02	MASONRY COLUMN COVER
RSMT-10	STAINLESS STEEL PANEL
SCTC-10	SUN SCREEN
CWMT-01	METAL PANEL
CWGL-01	VISION GLASS
CWGL-02	TRANSLUCENT GLASS
CWSP-01	STAINLESS SPANDRAL
CWSP-02	MASONRY SPANDRAL
RL-SS-01	STAINLESS STEEL RAILING
RL-GL	GLASS RAIL
RFGR-01	GREEN ROOF



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AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
EAST ELEVATION

CSMC PROJECT NO.
16-402

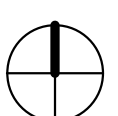
CONSULTANT PROJ. NO.
21501.00

DATE
07/16/21

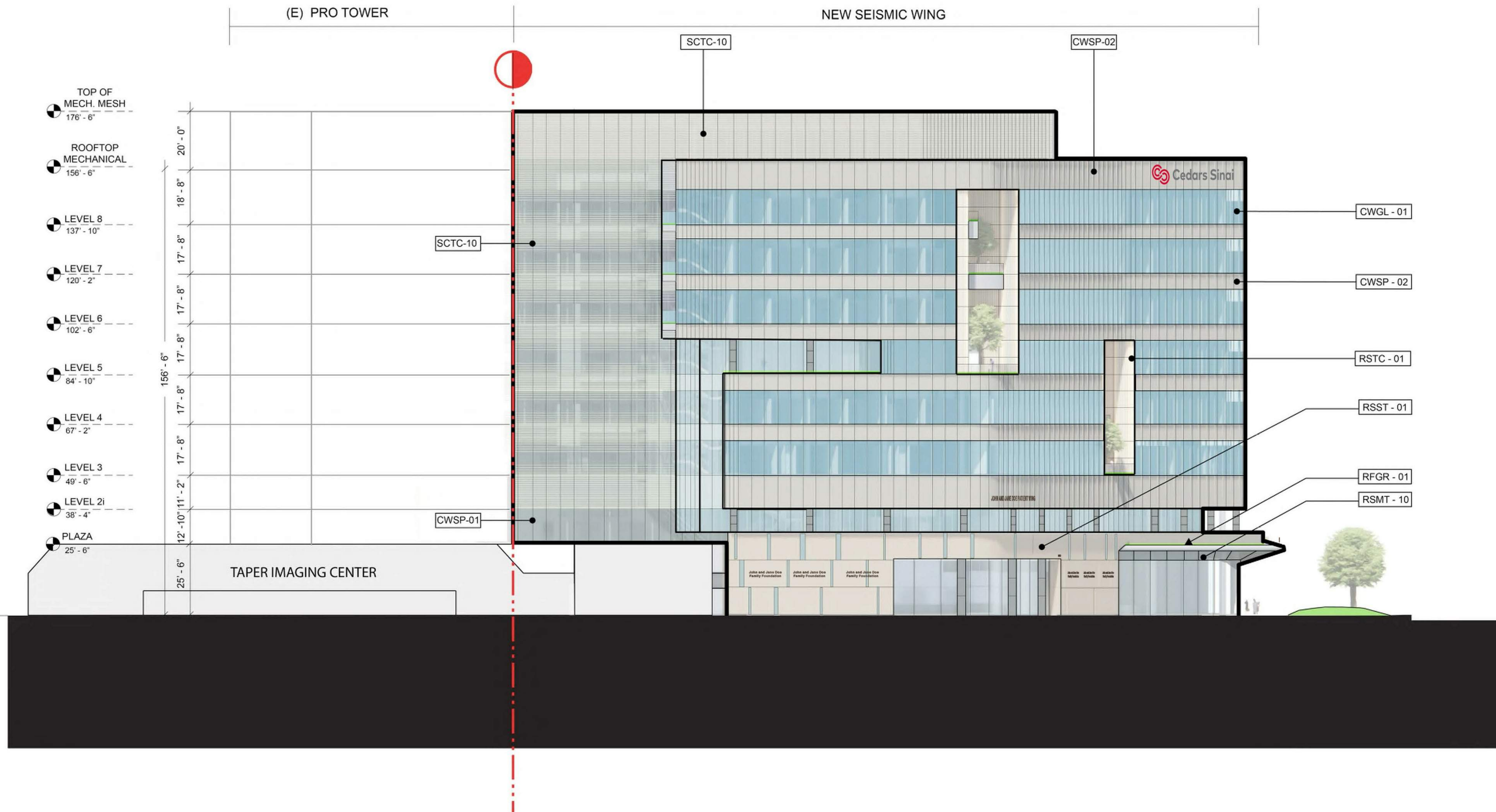
SHEET NUMBER

SCALE

A3.22



7/19/2021 6:20:25 PM



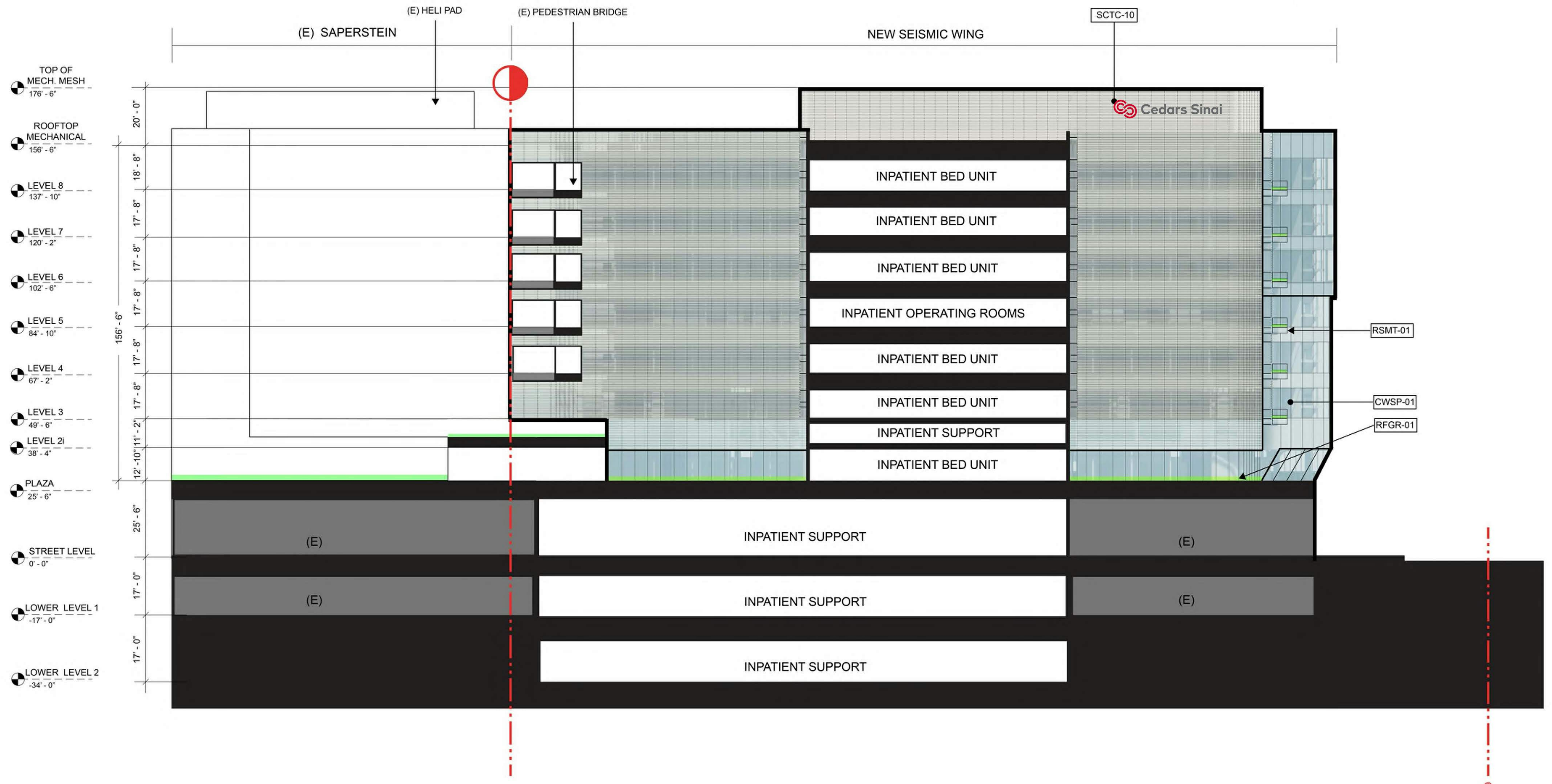
1 EAST ELEVATION
1/20" = 1'



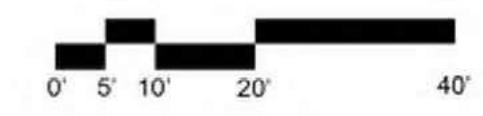
RSST-01	STONE
RSTC-01	MASONRY RAIN SCREEN
RSTC-02	MASONRY COLUMN COVER
RSMT-10	STAINLESS STEEL PANEL
SCTC-10	SUN SCREEN
CWMT-01	METAL PANEL
CWGL-01	VISION GLASS
CWGL-02	TRANSLUCENT GLASS
CWSP-01	STAINLESS SPANDRAL
CWSP-02	MASONRY SPANDRAL
RL-SS-01	STAINLESS STEEL RAILING
RL-GL	GLASS RAIL
RFGR-01	GREEN ROOF



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1 SOUTH ELEVATION
 1/20" = 1'



SAN VICENTE BLVD.

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AGENCY APPLICATION NUMBER
AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
SOUTH ELEVATION

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/16/21	SHEET NUMBER A3.23
SCALE	

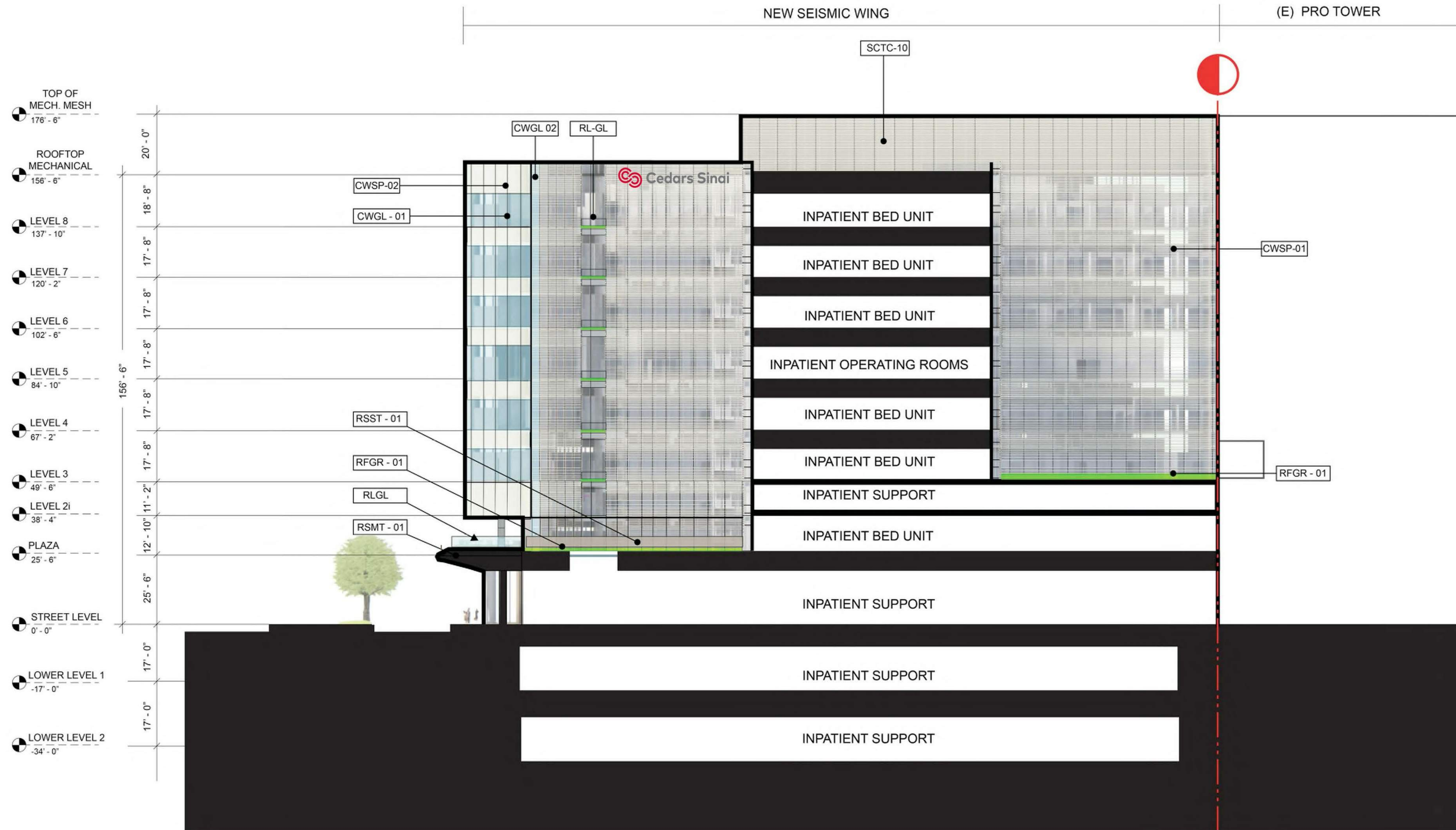
RSST-01	STONE
RSTC-01	MASONRY RAIN SCREEN
RSTC-02	MASONRY COLUMN COVER
RSMT-10	STAINLESS STEEL PANEL
SCTC-10	SUN SCREEN
CWMT-01	METAL PANEL
CWGL-01	VISION GLASS
CWGL-02	TRANSLUCENT GLASS
CWSP-01	STAINLESS SPANDRAL
CWSP-02	MASONRY SPANDRAL
RL-SS-01	STAINLESS STEEL RAILING
RL-GL	GLASS RAIL
RFGR-01	GREEN ROOF



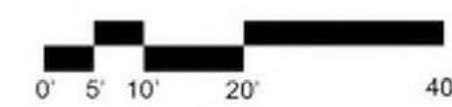
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1 WEST ELEVATION
1/20" = 1'



REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

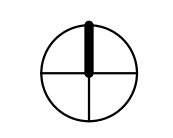
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
WEST ELEVATION

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
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DATE 07/16/21	SHEET NUMBER
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A3.24



7/19/2021 6:20:26 PM



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LOS ANGELES, CA 90048

ARCHITECT

CO ARCHITECTS

5055 Wilshire Boulevard, 9th Floor
Los Angeles, California 90036
323.525.0500 phone, 323.525.0955 fax

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE

**SEISMIC UPGRADE
WING**

PROJECT TITLE

**CEDARS-SINAI MEDICAL
CENTER**

SHEET TITLE

BUILDING RENDERINGS

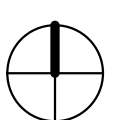
CISM PROJECT NO.
16-402

CONSULTANT PROJ. NO.
21501.00

DATE
07/16/21
SCALE

SHEET NUMBER

A3.31





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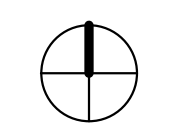
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
BUILDING RENDERINGS

CISM PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 07/16/21	SHEET NUMBER

SCALE
A3.32



7/9/2021 4:06:17 PM



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Los Angeles, California 90036
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BUILDING TITLE

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WING**

PROJECT TITLE

**CEDARS-SINAI MEDICAL
CENTER**

SHEET TITLE

BUILDING RENDERINGS

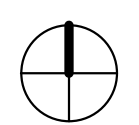
CSMC PROJECT NO.
16-402

CONSULTANT PROJ. NO.
21501.00

DATE
07/16/21

SHEET NUMBER

A3.33



Street Level



Tabebuia Impetiginosa
"Pink Trumpet Tree"



Agave Attenuata
"Foxtail Agave"



Agave Vilmoriniana
"Octopus Agave"



Aeonium Canariense
"Giant Velvet Rose"



Bouteloua Gracilis Blonde Ambition
"Blonde Ambition Blue Grama"



Santolina Chamaecyparissus
"Lavender Cotton"



Senecio Serpens
"Blue Chalk Sticks"



Aeonium Arboreum 'Zwartkop'
"Black Rose Aeonium"



Acacia Cousin Itt
"Little River Wattle"

Level 3



Dianella Tasmanica
"Tasman Flax Lily"



Fescue Glauca
"Blue Fescue"



Chamomile Nobile
"Chamomile"



Festuca Rubra 'Molate'
"Molate Red Fescue"



Penstemon Margarita
"Blue Bedder"



Carex Divulsa
"Berkeley Sedge"



Sedum Acre 'Aureum'
"Golden Stonecrop"

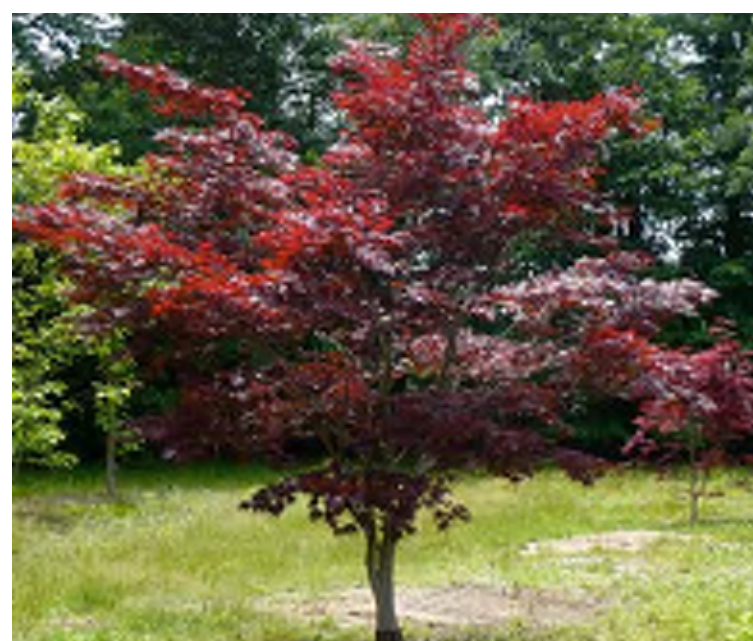


Sedum Cauticola 'Bertram Anderson'
"Bertram Anderson Stonecrop"

Plaza & Level 3



Bambusa Multiplex 'Alphonse Karr'
"Alphonse Karr"



Acer Palmatum
"Japanese Maple"



Asplenium Nidus
"Birds Nest Fern"



Billbergia Nutans
"Queens Tears"



Brunnera Macrophylla 'Jack Frost'
"Siberian Bugloss"



Arbutus Marina
"Strawberry Tree"



Phoenix Roebelenii
"Pygmy Date Palm"



Dianella Tasmanica 'Variegata'
"Variegated Flax Lily"



Hosta 'Rainforest Surprise'
"Rainforest Surprise Plantain Lily"



Maranta Leuconeura
"Red Prayer Plant"



Podocarpus Gracilior
"African Fern Pine"



Rhapsis Excelsa
"Lady Palm"



Liriope Spicata
"Creeping Lilyturf"



Philodendron 'Xanadu'
"Dwarf Philodendron"



Sedum Morganianum
"Burro's Tail"

REVISION-DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
PLANTING PALETTE

CSMC PROJECT NO.
16-402

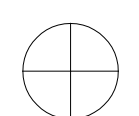
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21501.00

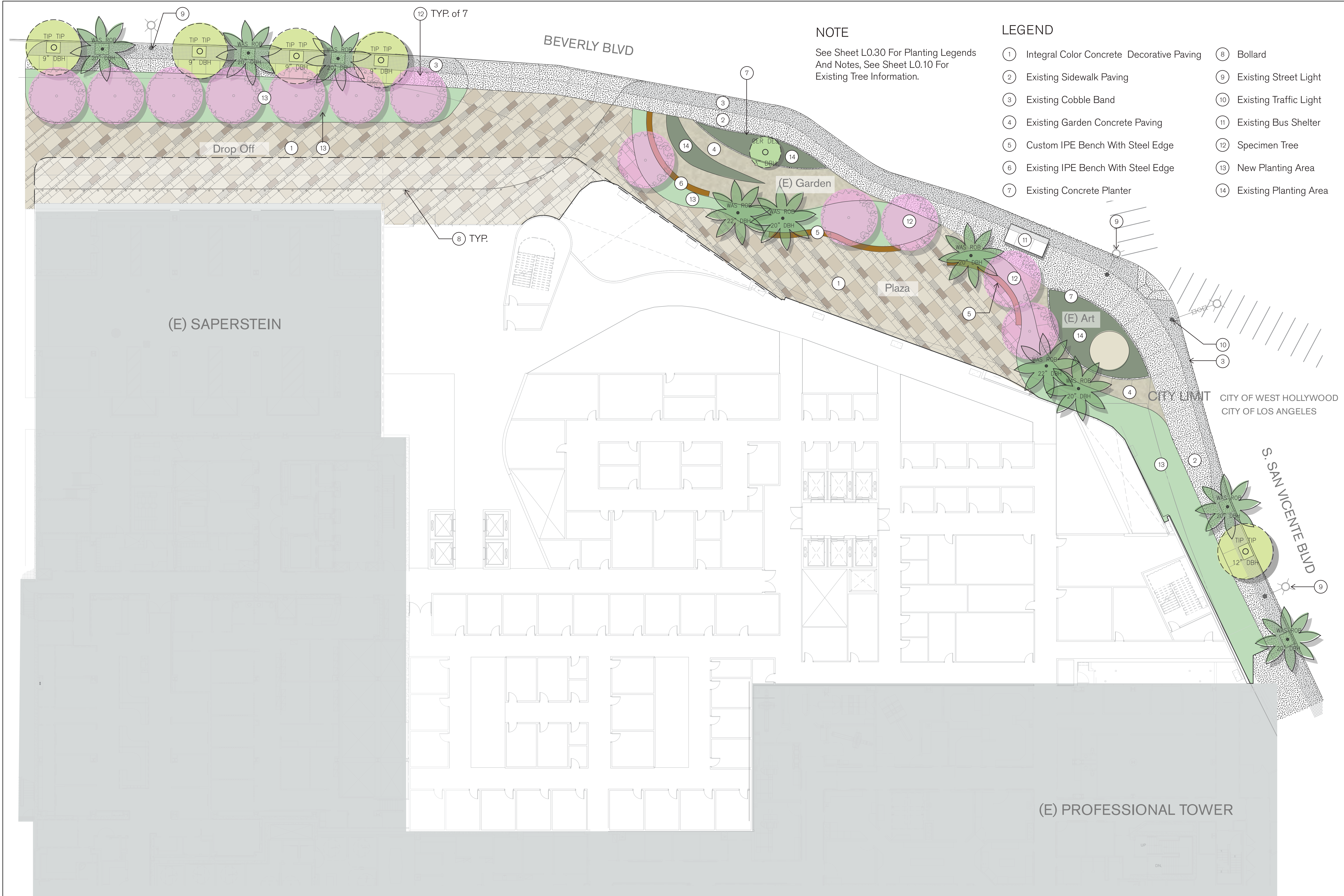
DATE
04/13/21

SHEET NUMBER

SCALE
1/16" = 1'-0"

L0.31





NOTE
See Sheet L0.30 For Planting Legends
And Notes, See Sheet L0.10 For
Existing Tree Information.

- LEGEND**
- ① Integral Color Concrete Decorative Paving
 - ⑧ Bollard
 - ② Existing Sidewalk Paving
 - ⑨ Existing Street Light
 - ③ Existing Cobble Band
 - ⑩ Existing Traffic Light
 - ④ Existing Garden Concrete Paving
 - ⑪ Existing Bus Shelter
 - ⑤ Custom IPE Bench With Steel Edge
 - ⑫ Specimen Tree
 - ⑥ Existing IPE Bench With Steel Edge
 - ⑬ New Planting Area
 - ⑦ Existing Concrete Planter
 - ⑭ Existing Planting Area

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REVISION-DATE
AGENCY APPLICATION NUMBER
AGENCY APPROVAL STAMP

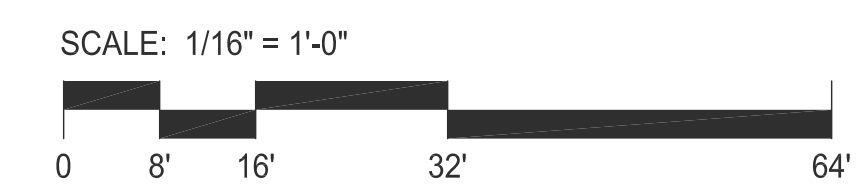
BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
STREET LEVEL LANDSCAPE PLAN

CSMC PROJECT NO. 16-402	CONSULTANT PROJ. NO. 21501.00
DATE 04/13/21	SHEET NUMBER L1.01
SCALE 1/16" = 1'-0"	

1 STREET LEVEL
1/16" = 1'-0"





NOTE

See Sheet L0.30 For Planting Legends And Notes.

LEGEND

- ① Integral Color Concrete Paving
- ② Decorative Lithocrete Paving
- ③ Steel Planter
- ④ Water Feature
- ⑤ Custom IPE Bench
- ⑥ Decorative Privacy Screen
- ⑦ Shade Structure
- ⑧ Sculpture
- ⑨ Cafe Tables & Chairs
- ⑩ Lounge Furniture
- ⑪ Screening Hedge
- ⑫ Specimen Tree
- ⑬ Sky Light
- ⑭ Existing Steel Planter



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AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

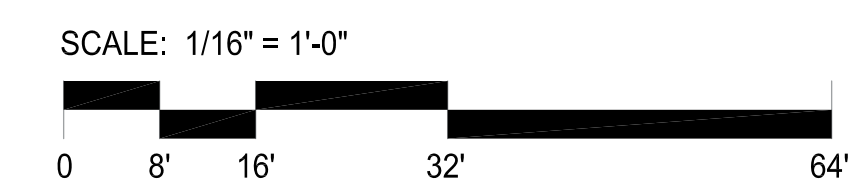
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
PLAZA LEVEL LANDSCAPE PLAN

CSMC PROJECT NO. 16-402
CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21
SCALE 1/16" = 1'-0"
SHEET NUMBER **L1.02**

1 PLAZA LEVEL
1/16" = 1'-0"

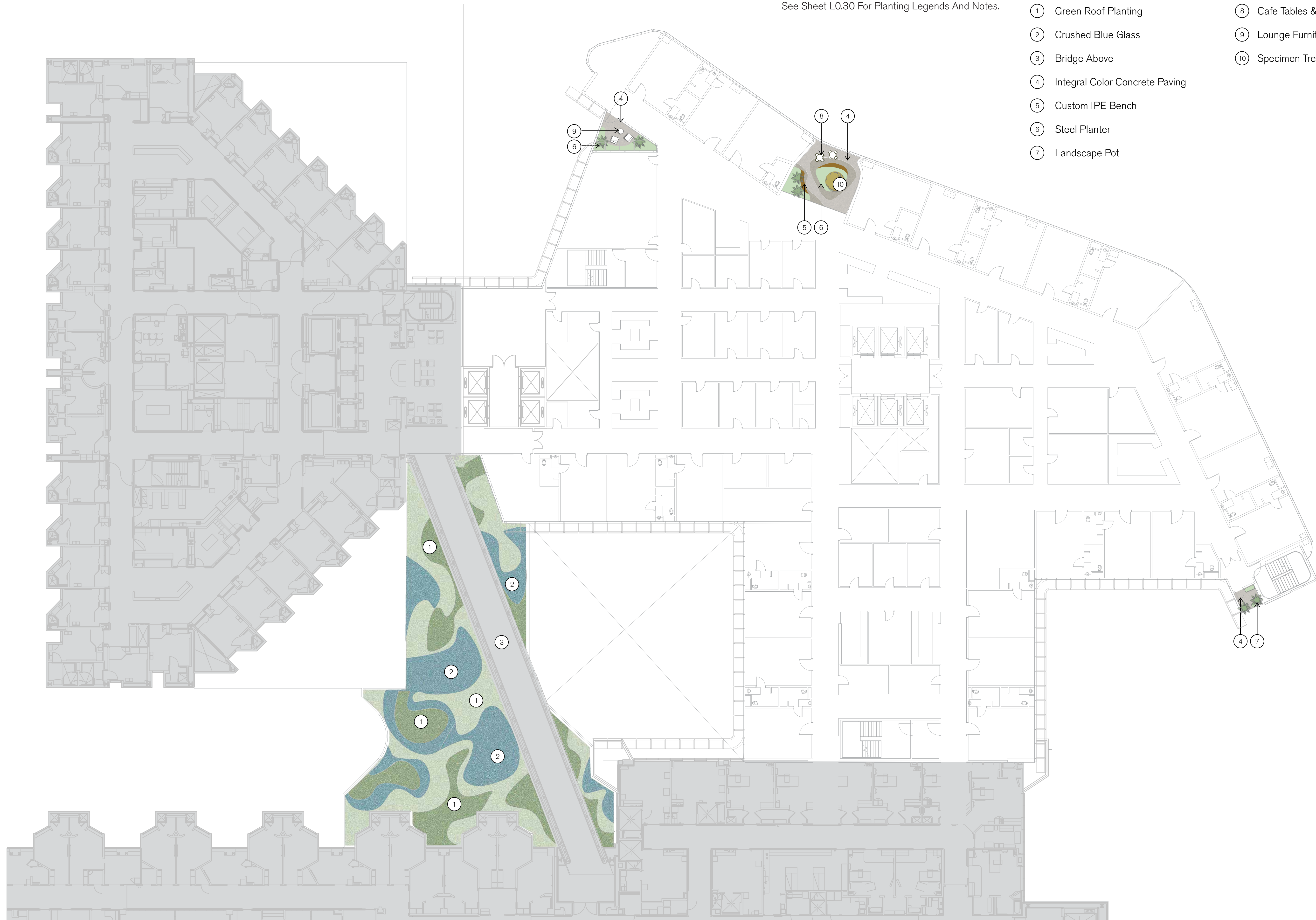


NOTE

See Sheet L0.30 For Planting Legends And Notes.

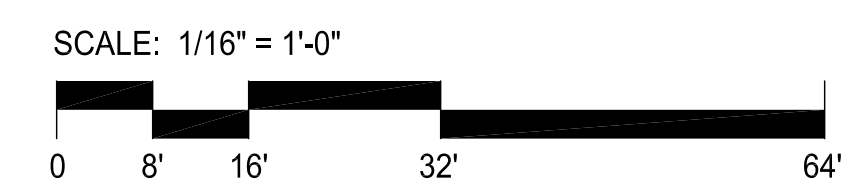
LEGEND

- ① Green Roof Planting
- ② Crushed Blue Glass
- ③ Bridge Above
- ④ Integral Color Concrete Paving
- ⑤ Custom IPE Bench
- ⑥ Steel Planter
- ⑦ Landscape Pot
- ⑧ Cafe Tables & Chairs
- ⑨ Lounge Furniture
- ⑩ Specimen Tree



1 LEVEL 3
1/16" = 1'-0"

E26



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AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

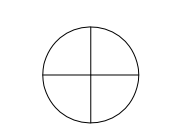
PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
LEVEL 3 LANDSCAPE PLAN

CSDC PROJECT NO. 16-402 | CONSULTANT PROJ. NO. 21501.00

DATE 04/13/21 | SHEET NUMBER

SCALE 1/16" = 1'-0" | **L1.03**



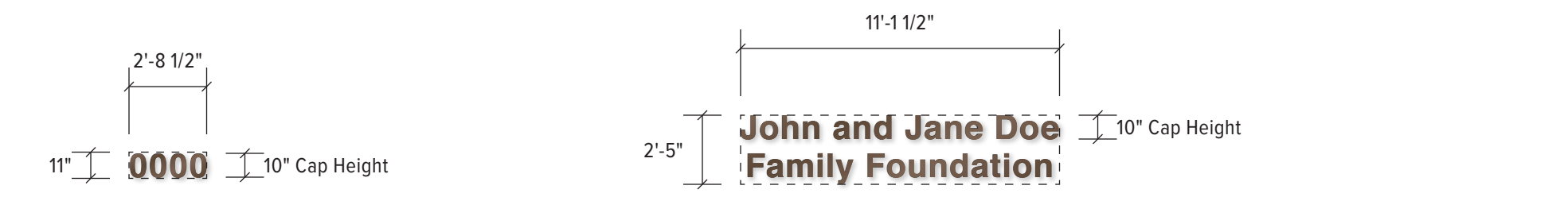
3/23/2021 6:33:04 PM

NOTE: THE COMPLETE SIGN PROGRAM TO BE SUBMITTED & PERMITTED DURING PLAN CHECK PHASE

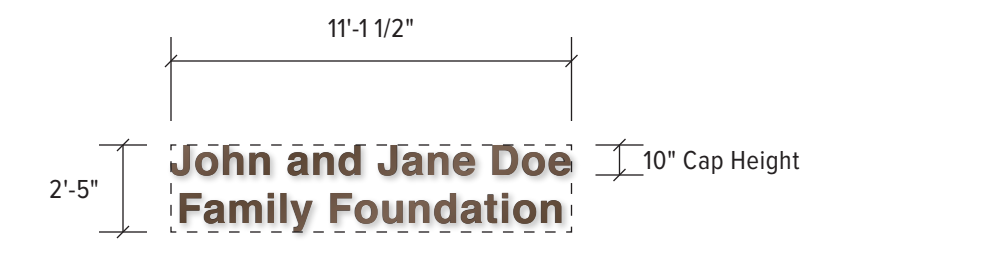


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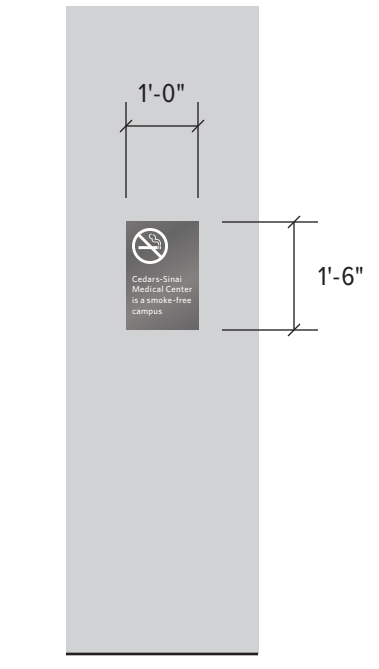
SIGN TYPE MENU



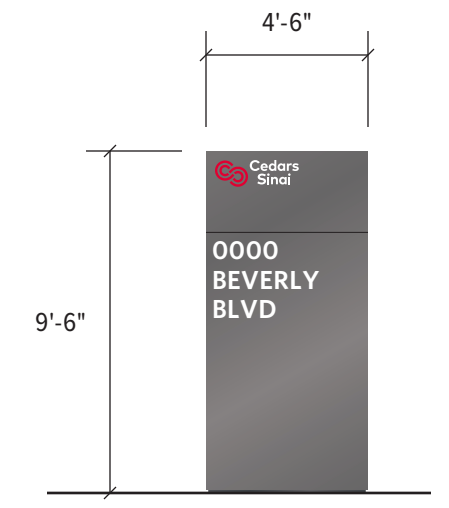
Sign Area: 2.5 Sq. Ft.
Wall Sign (Building Address)
3/16" = 1'-0"
Non-Illuminated



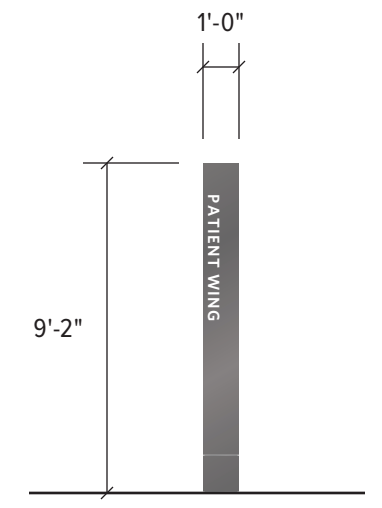
Sign Area: 27 Sq. Ft.
Wall Sign (Donor Recognition)
3/16" = 1'-0"
Non-Illuminated



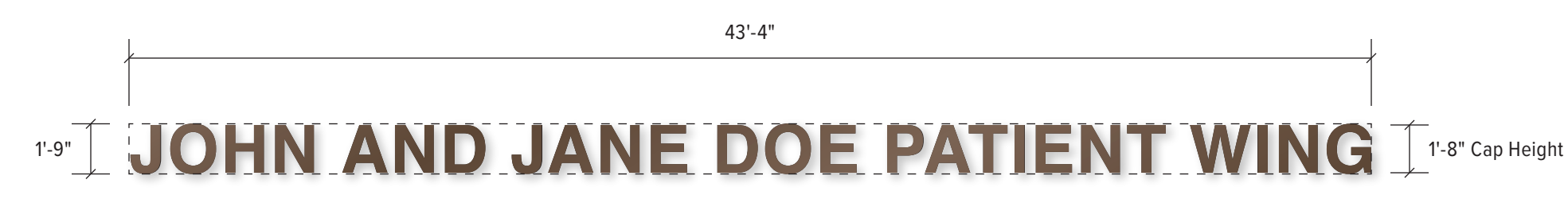
Sign Area: 1.5 Sq. Ft.
Information Sign (Sign Type HH1)
3/8" = 1'-0"
Non-Illuminated



Sign Area: 42.75 Sq. Ft.
Pole Sign (Sign Type BB1)
3/16" = 1'-0"
Internally Illuminated - Double-faced

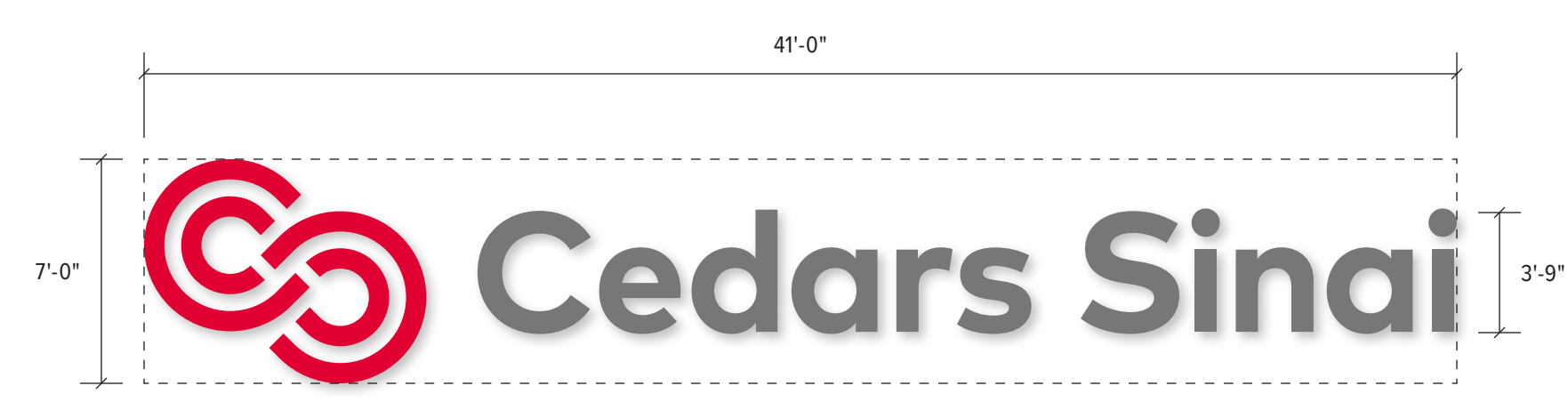


Sign Area: 9.2 Sq. Ft.
Pole Sign (Sign Type C4)
3/16" = 1'-0"
Internally Illuminated - Double-faced



Sign Area: 76 Sq. Ft.
Illuminated Architectural Canopy Sign & Wall Sign (Donor Recognition)
3/16" = 1'-0"
Internally Illuminated

Wall Sign (Donor Recognition)
3/16" = 1'-0"
Non-Illuminated



Sign Area: 287 Sq. Ft.
High Rise Sign
3/16" = 1'-0"
Internally Illuminated



Sign Area: 209 Sq. Ft.
High Rise Sign - Alternative Layout
3/16" = 1'-0"
Internally Illuminated

SIGN PROGRAM CHART

PROPOSED SIGN PROGRAM						CITY OF LOS ANGELES MUNICIPAL CODE				
SIGN LOCATION	SIGN DESCRIPTION	WIDTH	HEIGHT	COPY AREA	QTY.	LAMC SIGN CATEGORY	LAMC CODE SECTIONS	STREET FRONTAGE	MAX. SIGN AREA PERMITTED	ACTUAL SIGN AREA
1	North Building Elevation Information Sign (Sign Type HH1) Non-Illuminated	1'-0"	1'-6"	1.5 Sq. Ft.	2	Information Signs	SEC. 14.4.7. INFORMATION SIGNS. A. Area. Information signs shall not exceed 25 square feet in area.	Beverly Blvd. 317'-0"	1268 Sq. Ft.	582.45 Sq. Ft.
2	High Rise Sign Internally Illuminated 	41'-0"	7'-0"	287 Sq. Ft.	1	Wall Signs	SEC. 14.4.10. WALL SIGNS. A. Area. 1. The total sign area of wall signs facing a street shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage for a single-story building. 2. For buildings more than one story in height, the combined wall sign area shall not exceed that permitted for a single story by more than ten percent for each additional story. In no event, shall the combined wall sign area exceed by 50 percent that area permitted for a single-story building. 3. For wall signs that are made up of individual letters that use the wall of the building as background, the allowable sign area may be increased by 20 percent, provided there is no change in color between the background and the surrounding wall area. 4. The combined sign area of illuminated architectural canopy signs, roof signs and wall signs facing the same direction shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage. 5. The combined sign area of wall signs, projecting signs, monument signs, illuminated architectural canopy signs, pole signs, roof signs and window signs shall not exceed four square feet for each foot of street frontage. E. High Rise Signs. Any wall signs located over 100 feet above grade shall be used as identification signs only. Identification signs shall comprise no more than 80 percent of the width of that portion of the building where the signs are attached. Notwithstanding the provisions of Subsection A. above, the area of these signs may constitute up to five percent of the area of the wall where the signs are attached and may be in addition to the area permitted in Subsection A. above.			
3	Wall Sign (Building Address) Non-Illuminated 0000	2'-8 1/2"	11"	N/A	3					
4	Wall Sign (Donor Recognition) Non-Illuminated John and Jane Doe Family Foundation	11'-1 1/2"	2'-5"	27 Sq. Ft.	3					
5	Wall Sign (Donor Recognition) Non-Illuminated JOHN AND JANE DOE PATIENT WING	43'-4"	1'-9"	76 Sq. Ft.	1					
6	Architectural Canopy Sign (Donor Recognition) Internally Illuminated JOHN AND JANE DOE PATIENT WING	43'-4"	1'-9"	76 Sq. Ft.	1	Illuminated Architectural Canopy Signs	SEC. 14.4.11. ILLUMINATED ARCHITECTURAL CANOPY SIGNS. A. Area. 1. The area of illuminated architectural canopy signs shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage.			
7	Pole Sign (Sign Type BB1) Internally Illuminated - Double-faced 	4'-6"	9'-6"	42.75 Sq. Ft.	1	Pole Signs	SEC. 14.4.12. POLE SIGNS. B. Area. 1. Sign area visible to the same direction of traffic shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage. 2. The maximum area of any one pole sign shall not exceed 400 square feet.			
8	Pole Sign (Sign Type C4) Internally Illuminated - Double-faced 	1'-0"	9'-2"	9.2 Sq. Ft.	1					
9	West Building Elevation High Rise Sign Internally Illuminated 	41'-0"	7'-0"	287 Sq. Ft.	1	Wall Signs	SEC. 14.4.10. WALL SIGNS. E. High Rise Signs. Any wall signs located over 100 feet above grade shall be used as identification signs only. Identification signs shall comprise no more than 80 percent of the width of that portion of the building where the signs are attached. Notwithstanding the provisions of Subsection A. above, the area of these signs may constitute up to five percent of the area of the wall where the signs are attached and may be in addition to the area permitted in Subsection A. above.	N/A	684 Sq. Ft.	287 Sq. Ft.
10	South Building Elevation High Rise Sign Internally Illuminated 	41'-0"	7'-0"	287 Sq. Ft.	1			N/A	893 Sq. Ft.	287 Sq. Ft.
11	East Building Elevation Wall Sign (Donor Recognition) Non-Illuminated John and Jane Doe Family Foundation	11'-1 1/2"	2'-5"	27 Sq. Ft.	3	Wall Signs	SEC. 14.4.10. WALL SIGNS. A. Area. 1. The total sign area of wall signs facing a street shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage for a single-story building. 2. For buildings more than one story in height, the combined wall sign area shall not exceed that permitted for a single story by more than ten percent for each additional story. In no event, shall the combined wall sign area exceed by 50 percent that area permitted for a single-story building. 3. For wall signs that are made up of individual letters that use the wall of the building as background, the allowable sign area may be increased by 20 percent, provided there is no change in color between the background and the surrounding wall area. 4. The combined sign area of illuminated architectural canopy signs, roof signs and wall signs facing the same direction shall not exceed two square feet for each foot of street frontage, plus one square foot for each foot of building frontage. 5. The combined sign area of wall signs, projecting signs, monument signs, illuminated architectural canopy signs, pole signs, roof signs and window signs shall not exceed four square feet for each foot of street frontage.	San Vicente Blvd. 262'-6"	1050 Sq. Ft.	81 Sq. Ft.



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W skadesign.com

REVISION DATE

AGENCY APPLICATION NUMBER

AGENCY APPROVAL STAMP

BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
SIGN TYPE MENU & SIGN PROGRAM CHART

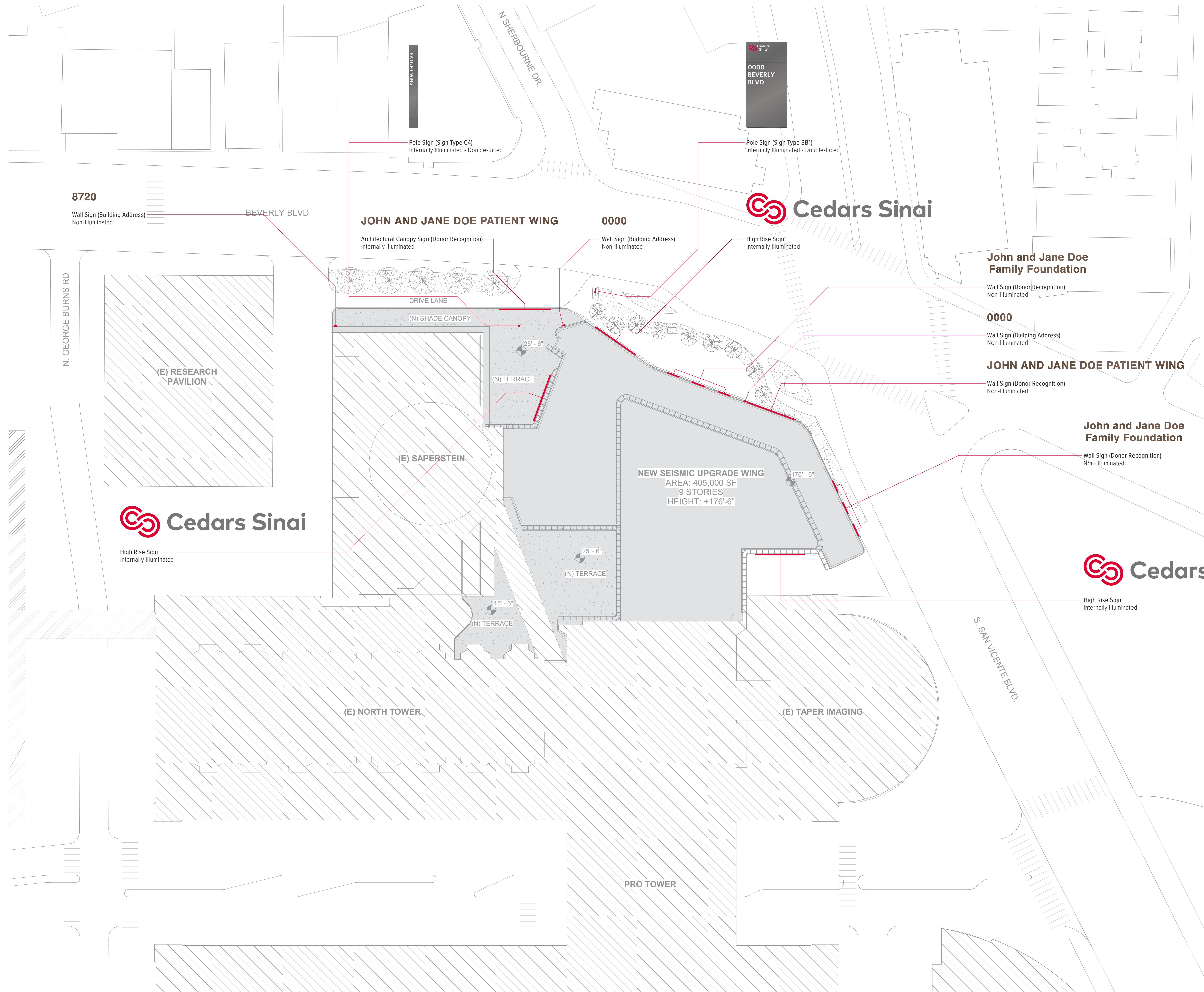
CSMC PROJECT NO.
16-402

CONSULTANT PROJ. NO.
21501.00

DATE
07/16/2021

SHEET NUMBER
SG0.00

SCALE
AS INDICATED



NOTE: THE COMPLETE SIGN PROGRAM TO BE SUBMITTED & PERMITTED DURING PLAN CHECK PHASE

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BUILDING TITLE
SEISMIC UPGRADE WING

PROJECT TITLE
CEDARS-SINAI MEDICAL CENTER

SHEET TITLE
SITE SIGN LOCATION PLAN

CSCM PROJECT NO.
16-402

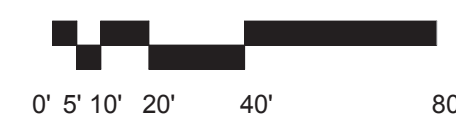
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21501.00

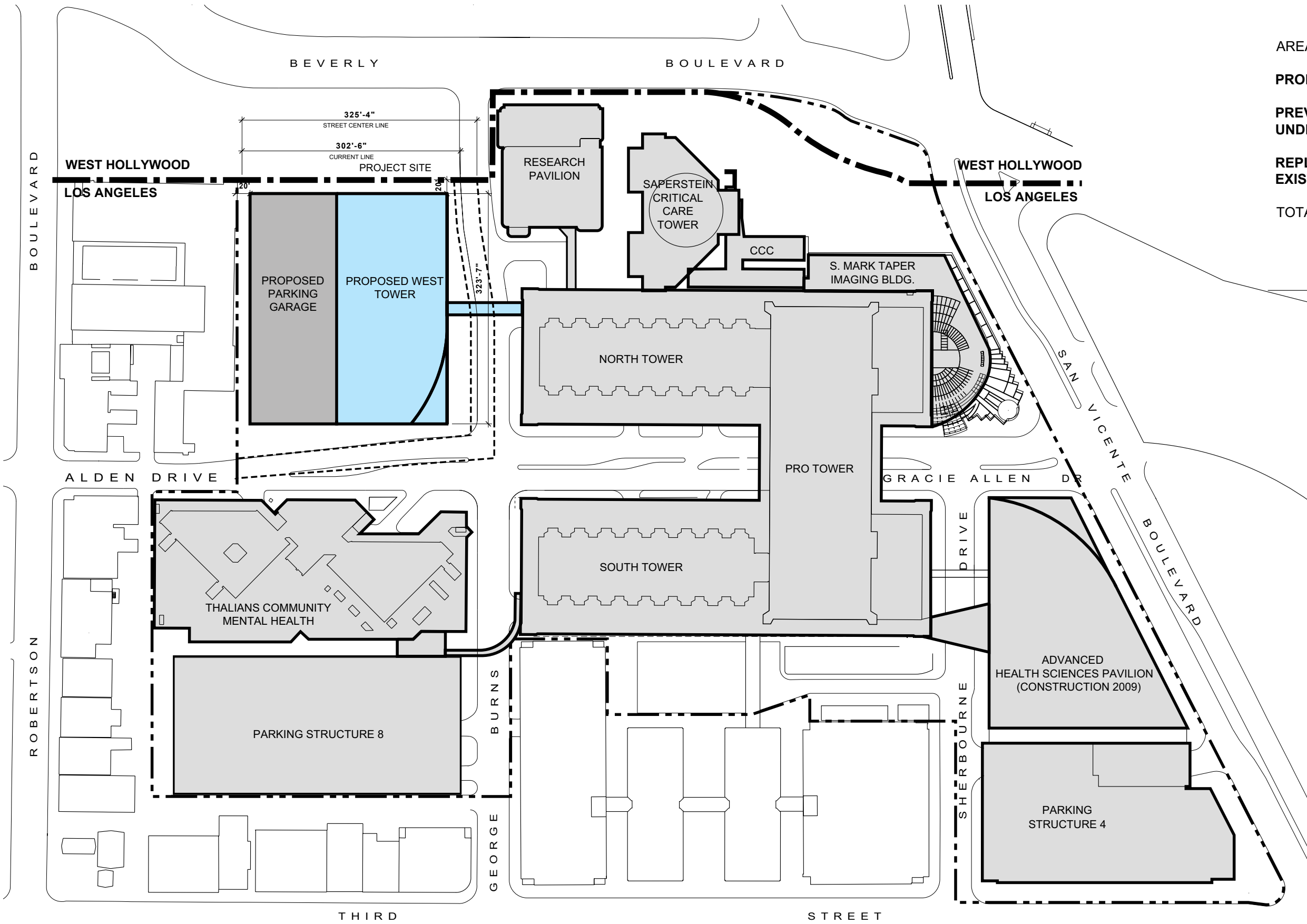
DATE
07/16/2021

SHEET NUMBER

SG1.02

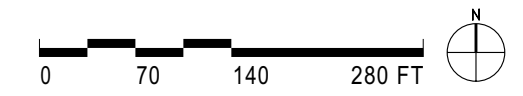
SITE SIGN LOCATION PLAN
 1" = 40'-0"



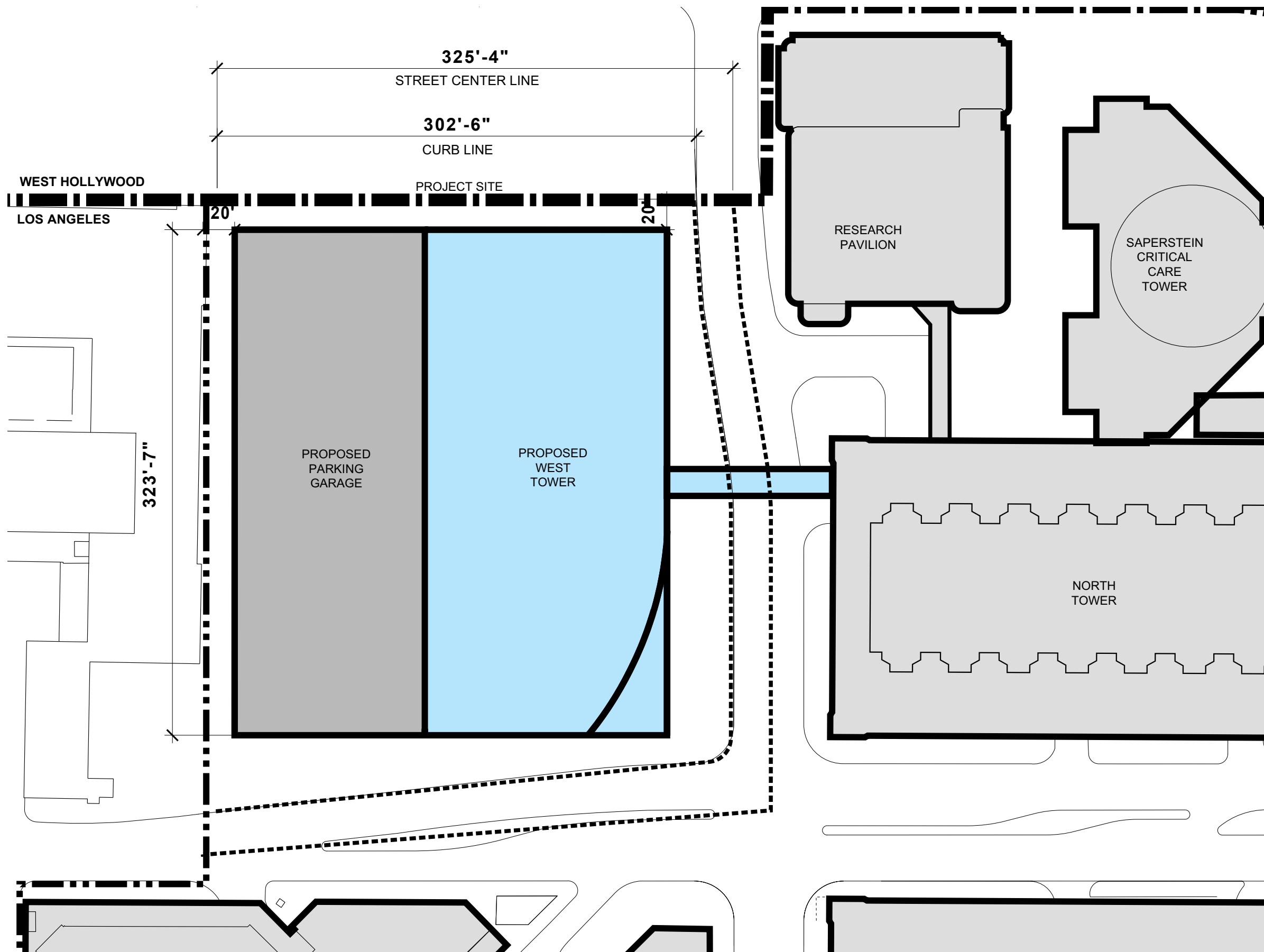


AREA TABLE (LAMC FLOOR AREA)	
PROPOSED ADDITIONAL DEVELOPMENT	200,000
PREVIOUSLY APPROVED DEVELOPMENT UNDER 1993 MASTER PLAN	170,650
REPLACEMENT OF EXISTING BUILDING	90,000
TOTAL	460,650

PROPOSED WEST TOWER SITE PLAN



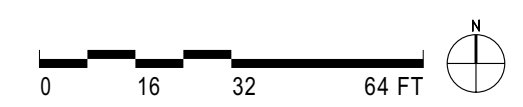
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AREA TABLE (LAMC FLOOR AREA)

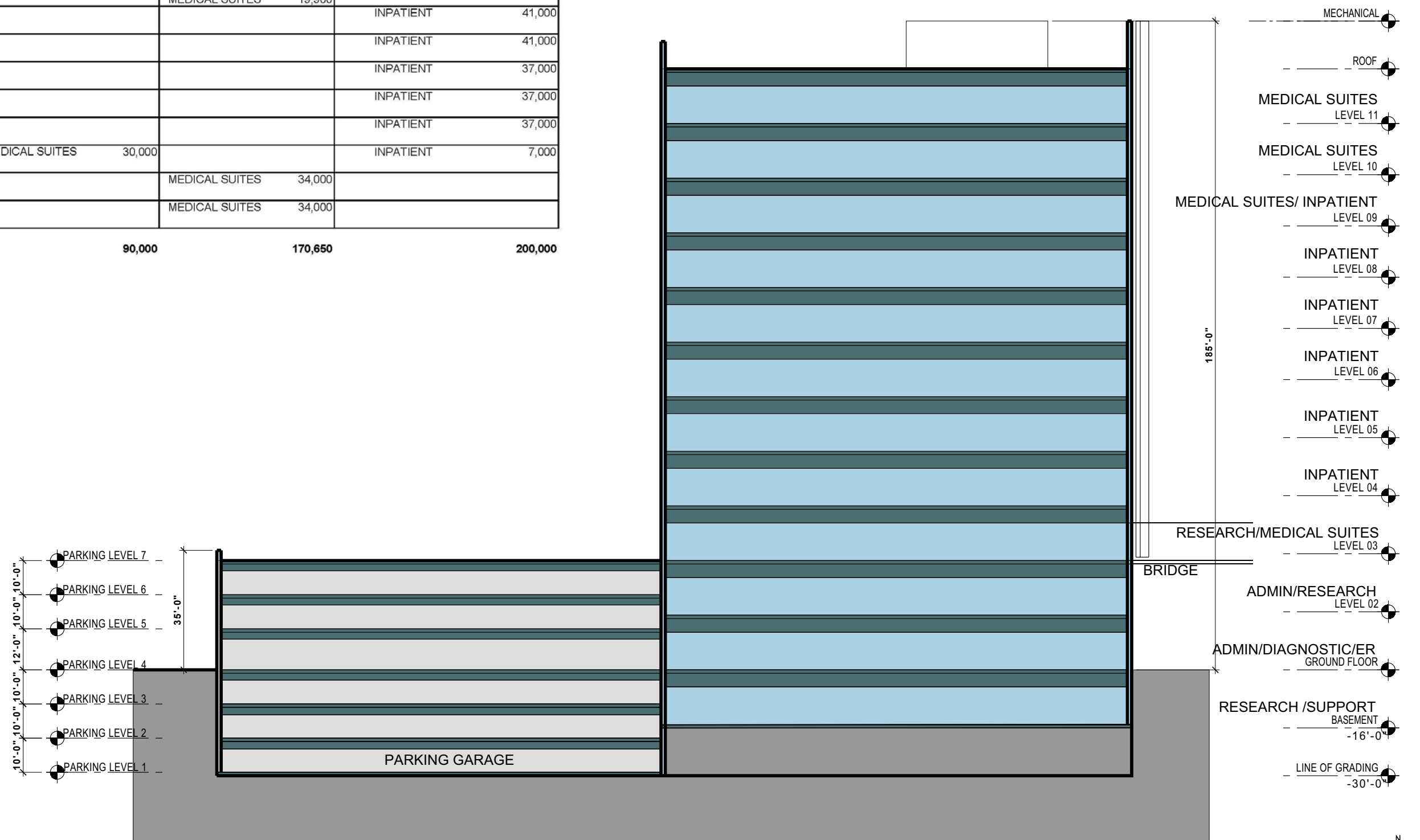
PROPOSED ADDITIONAL DEVELOPMENT	200,000
PREVIOUSLY APPROVED DEVELOPMENT UNDER 1993 MASTER PLAN	170,650
REPLACEMENT OF EXISTING BUILDING	90,000
TOTAL	460,650

PROPOSED WEST TOWER SITE PLAN



SCALE: 1"=32'-0"

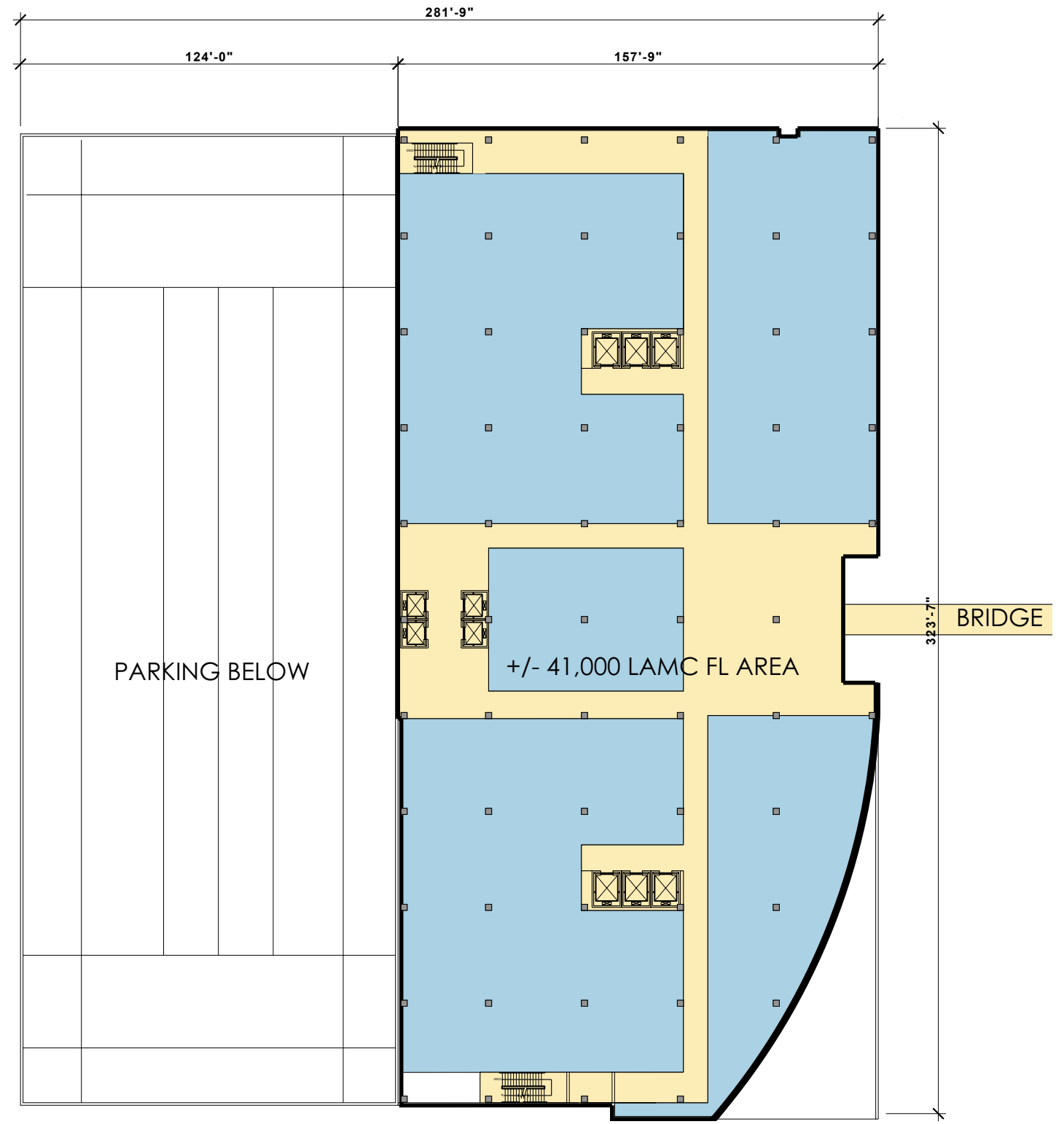
FLOOR LEVEL	TOTAL SF (LAMC FLOOR AREA)	PROPOSED FUNCTIONS	REPLACEMENT OF EXISTING SPIELBERG BUILDING	PREVIOUSLY APPROVED DEVELOPMENT	PROPOSED ADDITIONAL DEVELOPMENT
B1	41,022	RESEARCH SUPPORT	RESEARCH 30,000	SUPPORT 11,022	
GROUND FLR	40,610	DIAGNOSTIC/ER ADMIN	ADMIN 7,000	DIAGNOSTIC ER 110	33,500
2	41,118	ADMIN RESEARCH	ADMIN 23,000	REHAB ADMIN 5,118	13,000
3	39,900	RESEARCH MEDICAL SUITES		REHAB MEDICAL SUITES 19,900	20,000
4	41,000	INPATIENT			INPATIENT 41,000
5	41,000	INPATIENT			INPATIENT 41,000
6	37,000	INPATIENT			INPATIENT 37,000
7	37,000	INPATIENT			INPATIENT 37,000
8	37,000	INPATIENT			INPATIENT 37,000
9	37,000	MEDICAL SUITES INPATIENT	MEDICAL SUITES 30,000		INPATIENT 7,000
10	34,000	MEDICAL SUITES		MEDICAL SUITES 34,000	
11	34,000	MEDICAL SUITES		MEDICAL SUITES 34,000	
TOTAL SF	460,650		90,000	170,650	200,000



PROPOSED WEST TOWER SECTION

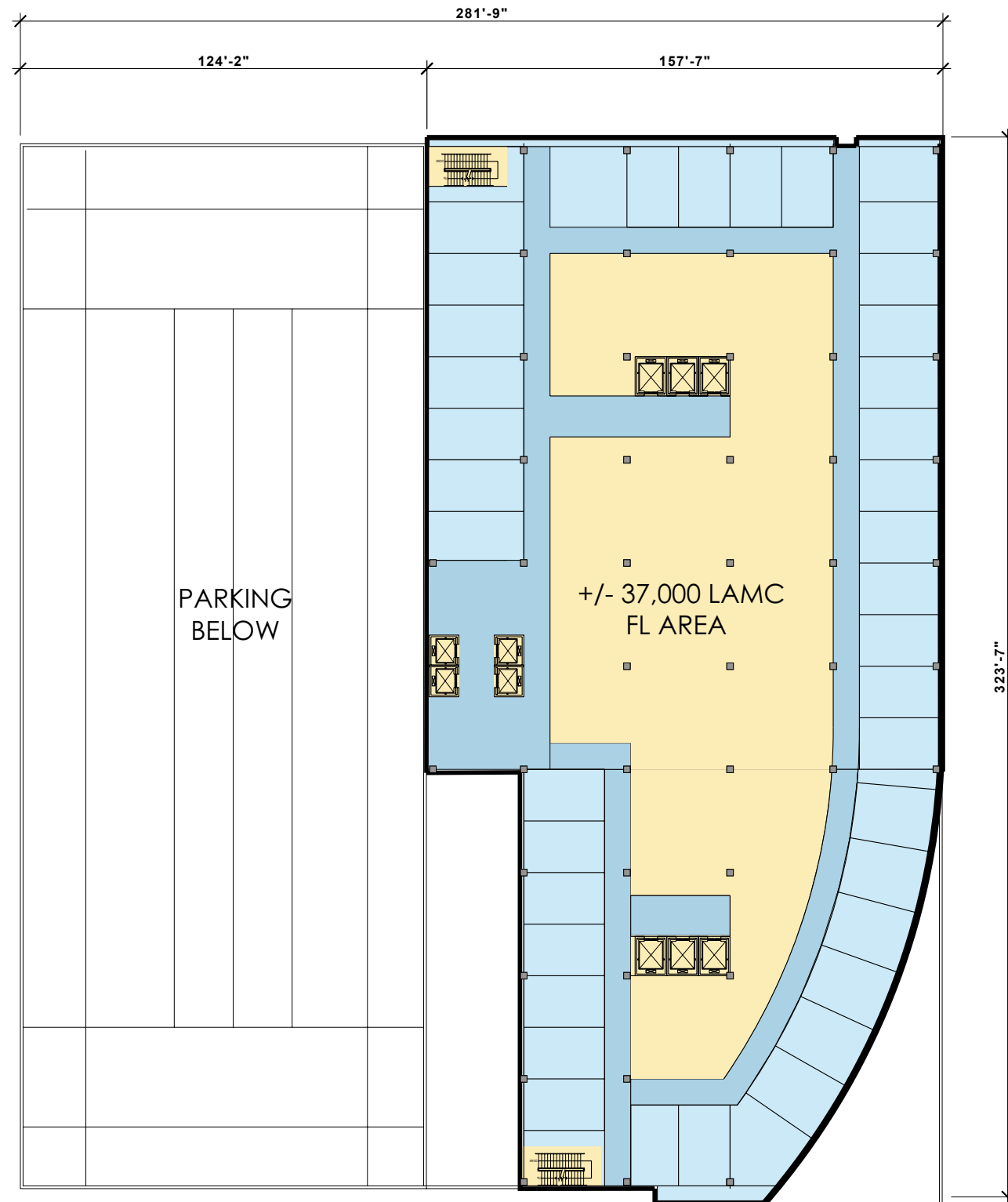


PLAN LEVELS BASEMENT, GROUND LEVEL, 2

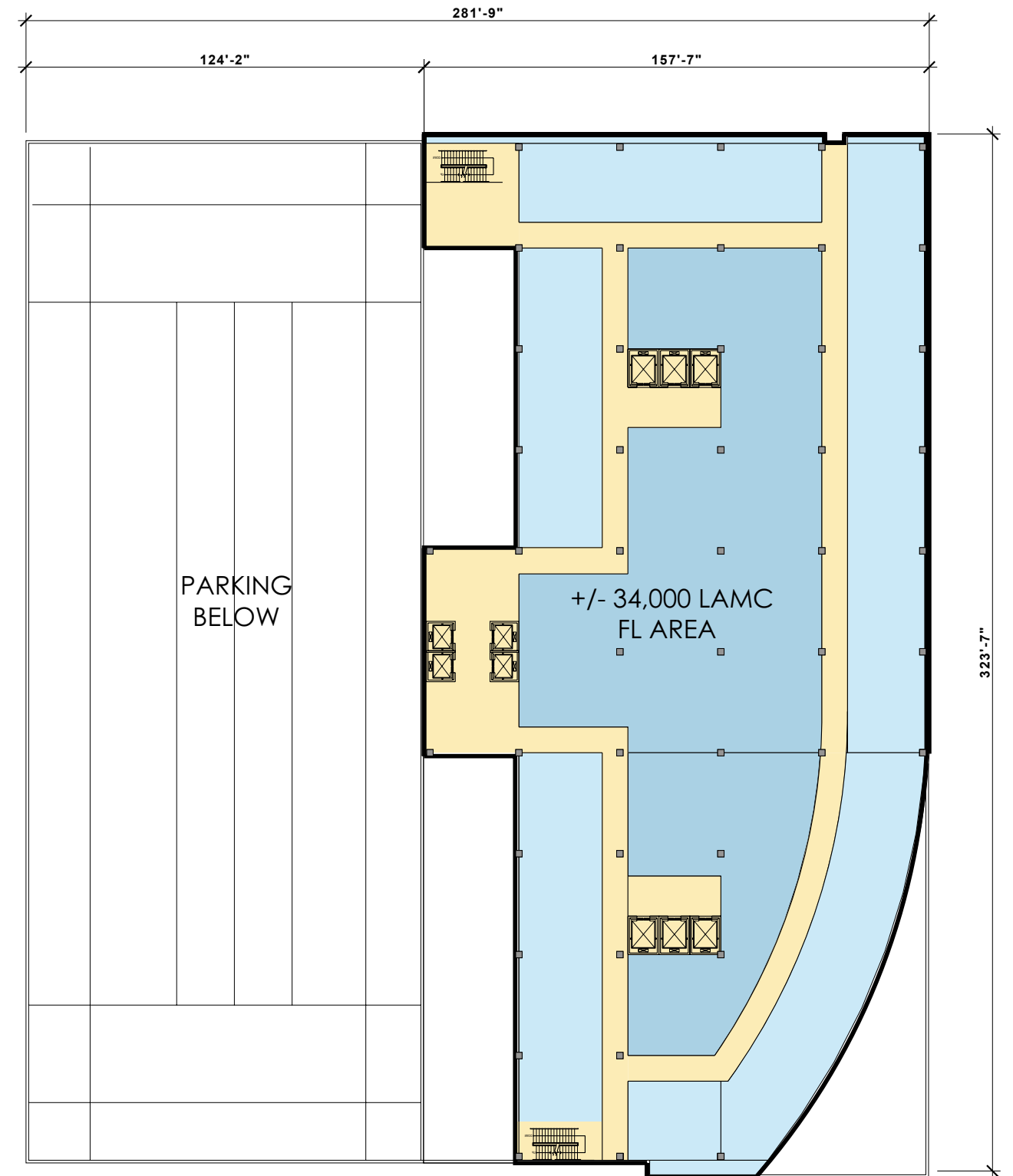


PLAN LEVELS 3, 4, 5

PROPOSED WEST TOWER PLAN DIAGRAMS



PLAN LEVELS 6, 7, 8, 9



PLAN LEVELS 10, 11

PROPOSED WEST TOWER PLAN DIAGRAMS



SCALE: 1"=32'-0"

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 Voice: | 310 | 838-9555
 Fax: | 310 | 838-9586





PROPOSED WEST TOWER FROM GRACIE ALLEN DR.



CEDARS-SINAI MEDICAL CENTER

E34

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PROPOSED WEST TOWER FROM BEVERLY BLVD.

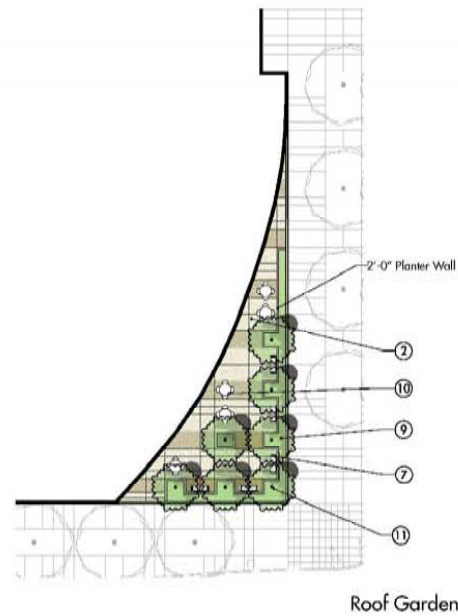


CEDARS-SINAI MEDICAL CENTER

E35

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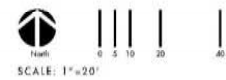


LEGEND

- 1 California Sycamore Tree — 12 Total
- 2 Integral Colored Concrete — Light Sandblast Finish
- 3 Integral Colored Concrete — Heavy Sandblast Finish
- 4 Seeded Aggregate to Match Color of Loose Aggregate
- 5 Loose Aggregate
- 6 Vegetated Swale to Capture Runoff from Adjacent Sidewalks. Planting to include native tall grasses as shown on Schematic Imagery board. Refer to Schematic Imagery Board sheet B7.1
- 7 Benches
- 8 Roof Garden (see above)
- 9 Planting Area
- 10 Cafe Table with Chairs
- 11 Palo Verde Tree — 7 Total
- 12 Pots
- 13 Phormium tenax - New Zealand Flax
- 14 Anigozanthos flavidus - Kangaroo Paw
- 15 Sansevieria trifasciata
- 16 Lyonothamnus floribundus ssp. asplenifolius - Catalina Ironwood Tree - 10 Total

NOTES

- A. Refer to architectural plans and diagrams for building and lot dimensions.
- B. No protected trees currently exist on the project site and none will be removed.



EPTDESIGN
landscape architecture | urban design | planning

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9321 Irvine Center Drive | Irvine, CA 92618 | T 949.307.4300 | F 949.307.4310
www.eptdesign.com



PROPOSED WEST TOWER LANDSCAPING PLAN



CEDARS-SINAI MEDICAL CENTER

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Loose Aggregate



Palo Verde Tree



Lyonothamnus floribundus ssp. *asplenifolius*
- Catalina Ironwood Tree



Bark of the California Sycamore Tree



Anigozanthos flavidus - Kangaroo Paw



Shadow Cast by a California Sycamore Tree



Phormium tenax - New Zealand Flax



Integral Colored Concrete



Sansevieria trifasciata



California Sycamore Tree



Pennisetum setaceum - Fountain Grass



California Sycamore Tree



Palo Verde Tree



Muhlenbergia rigens - Deer Grass



Site Furniture - Pots

PROPOSED WEST TOWER LANDSCAPING CONCEPT IMAGE





S. MARK TAPER IMAGING CENTER



CEDARS-SINAI MEDICAL CENTER

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SAPERSTEIN CRITICAL CARE TOWER



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PARKING STRUCTURE 4



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PARKING STRUCTURE 8

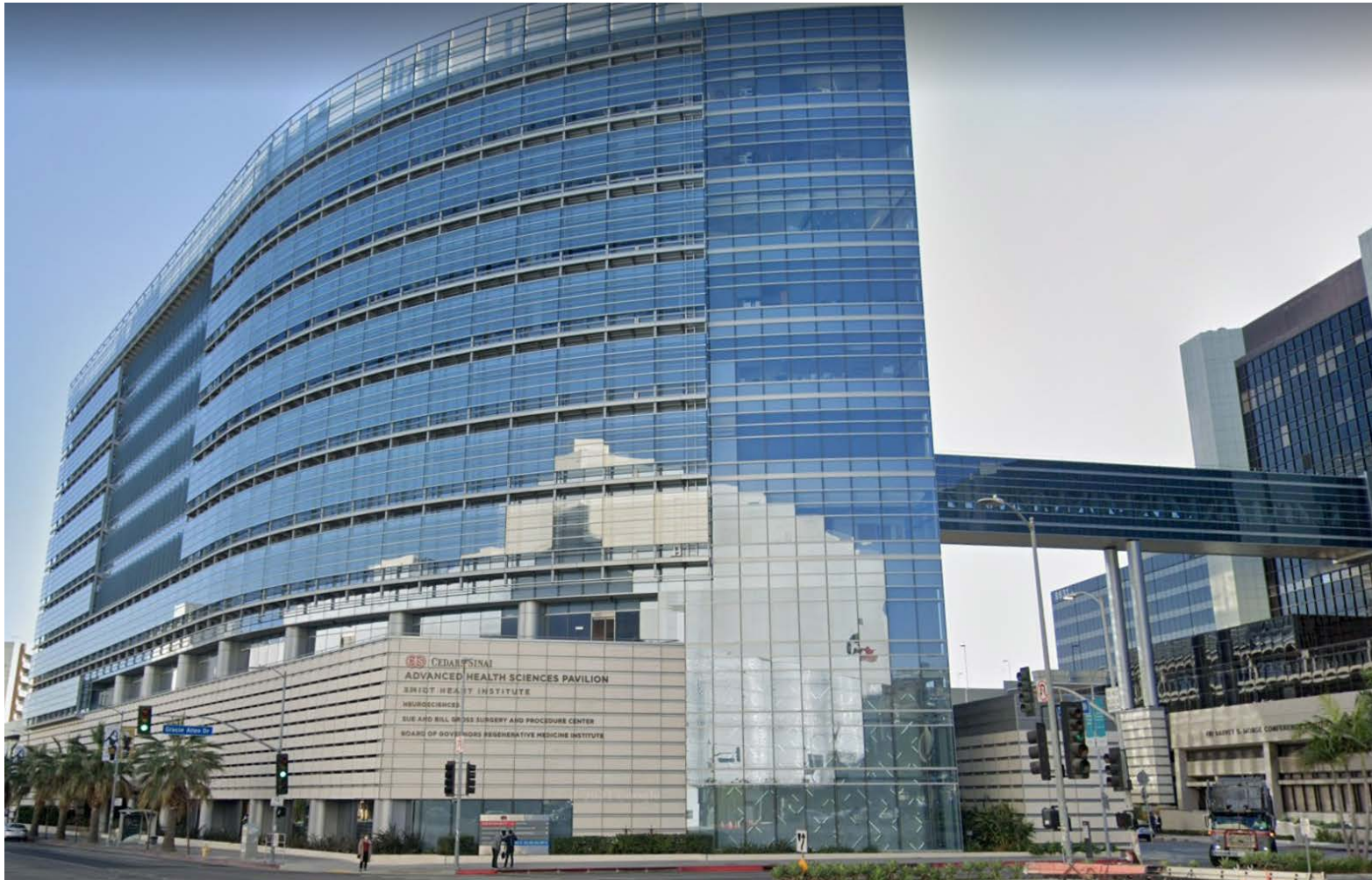


CEDARS-SINAI MEDICAL CENTER

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ADVANCED HEALTH SCIENCES PAVILION

 CEDARS-SINAI MEDICAL CENTER

EXHIBIT B
Proposed Ordinance

ORDINANCE NO. _____

An ordinance authorizing the execution of a Third Amendment to Development Agreement by and between the City of Los Angeles (City) and Cedars-Sinai Medical Center (Developer) relating to real property in the Wilshire Community Plan area located at 8700 Beverly Boulevard, which is hereby incorporated by reference.

WHEREAS, the Cedars-Sinai Medical Center Development Agreement between the City and Developer was entered into on August 12, 1993, and recorded on August 16, 1993, in the Official Records of Los Angeles County, California as Instrument No. 93-1590786 (Development Agreement) after adoption by the City Council of Ordinance Nos. 168847 and 168848 on June 23, 1993; and

WHEREAS, the Development Agreement between the City and Developer was amended by the First Amendment to Development Agreement on August 10, 2007, and recorded on August 13, 2007, in the Official Records of Los Angeles County, California as Instrument 20071898043 after adoption by the City Council of Ordinance No. 178866 on June 23, 2007; and

WHEREAS, the Development Agreement between the City and Developer was amended by the Second Amendment to Development Agreement on January 5, 2010, and recorded on January 6, 2010, in the Official Records of Los Angeles County, California as Instrument 20100017882 after adoption by the City Council of Ordinance No. 180911 on October 12, 2009; and

WHEREAS, City and Developer wish to enter into the Third Amendment of Development Agreement to vest the development rights conferred by Ordinance No. _____, which allows the development of an additional 405,000 square feet of development rights at the Developer's real property located at 8700 Beverly Boulevard; and

WHEREAS, on _____, the City Planning Commission approved and recommended that the City Council approve the Third Amendment to Development Agreement attached as Exhibit A by and between the City of Los Angeles and Cedars-Sinai Medical Center (Third Amendment to Development Agreement), which Third Amendment to Development Agreement is hereby incorporated by reference into the provisions of this ordinance; and

WHEREAS, after due notice, the City Planning Commission and the City Council did conduct public hearings on this matter; and

WHEREAS, pursuant to California Government Code Sections 65864 et seq., the City Planning Commission has transmitted its findings and recommendations; and

WHEREAS, the Third Amendment to Development Agreement is in the public interest and is consistent with the City's General Plan, including the Wilshire Community Plan; and

WHEREAS, the City Council has reviewed and considered the Third Amendment to Development Agreement and the findings and recommendations of the City Planning Commission.

NOW, THEREFORE,

**THE PEOPLE OF THE CITY OF LOS ANGELES
DO ORDAIN AS FOLLOWS:**

Section 1. The City Council finds, with respect to the Third Amendment to Development Agreement that:

(a) It is consistent with the objectives, policies and programs specified in the General Plan, including the Wilshire Community Plan, and is compatible with the uses authorized in, and the regulations prescribed for, the zone in which the real property is located;

(b) The intensity, building height and uses set forth in the Third Amendment to Development Agreement are permitted by and consistent with the Wilshire Community Plan;

(c) The Third Amendment to Development Agreement will not be detrimental to the public health, safety and general welfare because it encourages the construction of a project, which is desirable and beneficial to the public. Furthermore, the Third Amendment to Development Agreement does not modify those provisions of the Development Agreement, which specifically permit application to the project of rules and regulations under Los Angeles Municipal Code Sections 57.101, et seq. and 91.101, et seq. relating to public health and safety;

(d) The Third Amendment to Development Agreement complies with all applicable City and State regulations governing development agreements; and

(e) The Third Amendment to Development Agreement is necessary to strengthen the public planning process and to reduce the public and private costs of development uncertainty.

Sec. 2. The City Council hereby approves the Third Amendment to Development Agreement and authorizes and directs the Mayor to execute the Third Amendment to Development Agreement in the name of the City of Los Angeles, and, further, directs the

City Clerk to record the Third Amendment to Development Agreement and this ordinance with the County Recorder within ten days of its effective date.

Sec. 3. The City Clerk shall certify to the passage of this ordinance and have it published in accordance with Council policy, either in a daily newspaper circulated in the City of Los Angeles or by posting for ten days in three public places in the City of Los Angeles: one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall; one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall East; and one copy on the bulletin board located at the Temple Street entrance to the Los Angeles County Hall of Records.

I hereby certify that this ordinance was passed by the Council of the City of Los Angeles, at its meeting of _____.

HOLLY L. WOLCOTT, City Clerk

By _____
Deputy

Approved _____

Mayor

Approved as to Form and Legality

MICHAEL N. FEUER, City Attorney

By _____

Deputy City Attorney

Date: _____

File No. _____

EXHIBIT C

2021 Annual Review Letter

July 22, 2021

VIA E-MAIL

Mr. Vincent P. Bertoni, AICP
Director of City Planning
City of Los Angeles
200 North Spring Street, Room 525C
Los Angeles, California 90012

Re: Case No. CPC No. 92-0534-DA
Annual Review of Cedars-Sinai Medical Center Development Agreement

Dear Mr. Bertoni:

Pursuant to Section 4.1.1 of the Cedars-Sinai Medical Center Development Agreement dated August 12, 1993, as amended on August 10, 2007 and October 13, 2009 (collectively, the “**Development Agreement**”), we are pleased to submit on behalf of our client, Cedars-Sinai Medical Center (“**Cedars-Sinai**” or the “**Medical Center**”), this report regarding Cedars-Sinai’s good faith compliance with the terms and conditions of the Development Agreement. As described below, Cedars-Sinai continues to comply with its obligations under the Development Agreement. All initial capitalized terms used herein and not otherwise defined have the meanings attributed to them in the Development Agreement.

The Development Agreement covers the Cedars-Sinai Master Plan (the “**Master Plan**”), which provides for a comprehensive modernization and expansion program for the Medical Center. In 1993, the City approved the Master Plan, including a zone and height district change ordinance (Ordinance No. 168,847, CPC No. 92-0530-ZC, CPC No. 92-0533-HD) and a Development Agreement (Ordinance No. 168,848, CPC No. 92-0534-DA), and certified an Environmental Impact Report (EIR No. 90-0643-ZC-HD), allowing and vesting 700,000 square feet of new development at the Medical Center. In 2007, the City approved a first amendment to the Development Agreement (Ordinance No. 178,866), which extended the term of the Development Agreement until 2023. In 2009, the City approved a zone change (Ordinance No. 180,709) and a second amendment to the Development Agreement (Ordinance No. 180,911), which allowed and vested an additional 200,000 square feet of development rights at the Medical Center.

With completion of the approximately 393,320 square foot Advanced Health Sciences Pavilion (the “**Pavilion**”) in 2013, the total number of square feet of development rights remaining under

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Page 2

the Master Plan is approximately 373,000 square feet, as set forth in more detail in Exhibit A. Upon completion of the Pavilion, the Medical Center had a total requirement of 6,698 parking spaces and a total supply of 7,192 parking spaces, for a surplus of 494 spaces. Subsequent to the opening of the Pavilion, as a result of minor changes to certain Medical Center facilities, the parking requirement was increased to 6,700 parking spaces, and the parking supply was reduced to 7,188 parking spaces, resulting in a surplus of 488 spaces.

The parking supply for the Medical Center has changed slightly while Cedars-Sinai upgrades its sterilization facilities to meet increasing demands. This work, which began in 2017, is currently operational and is expected to be operational through 2021 and into 2022. Three sterilization processing department trailers containing a total of approximately 3,000 square feet have been installed in Parking Lot 6, located at the southwest corner of Beverly Boulevard and San Vicente Boulevard. These trailers will remain while work is underway on the Medical Center's permanent sterilization facilities, and will be removed once that work is completed. The trailers temporarily displace 37 parking spaces. Upon completion, 36 of the 37 parking spaces will be restored, resulting in a total parking supply of 7,187 spaces for the Medical Center. This temporary displacement of parking spaces is not expected to result in any parking shortages during this period, since the Medical Center would still provide approximately 450 more parking spaces than are required.

Other projects recently completed at the Medical Center include the installation of 3,600 square feet of additional temporary trailers in November 2020 within Parking Lot 6, adjacent to the sterilization trailers. These trailers will temporarily house administrative staff while areas of the hospital will be vacated in order to construct an additional 26 patient beds that are expected to be put into service in March 2022. These trailers temporarily displaced 53 parking spaces of the remaining 55 parking spaces in Parking Lot 6, and will be removed when renovation projects associated with their space are completed. Upon completion, the displaced parking spaces will be restored, resulting in a total parking supply of 7,187 spaces for the Medical Center. This temporary displacement of parking spaces is not expected to result in any parking shortages during this period, since the Medical Center would still provide approximately 400 more parking spaces than are required.

Other projects that are being undertaken at the Medical Center include required mechanical system upgrades in Parking Lot 3. As part of the expansion and upgrades to Cedars-Sinai's sterilization facilities and the main pharmacy that are necessary to meet increasing demands, major mechanical

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Page 3

system upgrades are required in order to meet current design codes and standards. This will require the installation of a new air handling unit and related mechanical equipment in Parking Lot 3. In addition, construction of space for 26 patient beds within the Saperstein Critical Care Tower began in early 2021, and is ongoing. These beds are expected to be put into service in March 2022.

On April 28, 2021, Cedars-Sinai submitted an application to the Department of City Planning for a 15-year extension of the term of the Development Agreement, and for the proposed Seismic Upgrade Wing project.¹ This building is being proposed to facilitate the seismic retrofit of the existing hospital buildings, as required by the Alfred E. Alquist Hospital Facilities Seismic Safety Act (the “Alquist Act”). The Alquist Act requires that, by 2030, all acute care hospitals in California be able to withstand a major earthquake and remain functioning. The Medical Center campus is built to current seismic codes, but the existing main hospital buildings, comprised of the North and South Patient Towers and the Professional Tower, which were built almost 50 years ago, must be seismically retrofitted or replaced with new buildings in order to comply with the Alquist Act’s seismic safety standards. Replacing the Patient and Professional Towers would be prohibitively expensive, and would eliminate a significant number of patient beds, operating rooms, and other critical services during the replacement.

Therefore, Cedars-Sinai has determined to seismically retrofit the existing Patient and Professional Towers. However, this requires extensive and invasive construction that would impact the inpatient and procedural floors of these buildings, and up to 120 patient beds at a time along with a number of operating rooms would still need to be removed from patient service during the retrofit work.

To minimize disruption to existing hospital operations and to ensure that the hospital remains accessible to the community, and that there would not be a net reduction of patient beds and operating rooms while the main hospital buildings are being seismically retrofitted, Cedars-Sinai is proposing to build the new Seismic Upgrade Wing adjacent to the Professional and North Patient Towers and the Saperstein Critical Care Tower. The 405,000-square-foot, 203-bed wing would be integrated with and connect to the Professional Tower and the Saperstein Critical Care Tower (which complies with the Alquist Act requirements), and would be located at the southwest corner of Beverly Boulevard and San Vicente Boulevard. Once the new wing has been completed and ready for occupancy, the phased seismic retrofit of the existing Professional, North and South Towers would commence. This approach would allow the seismic retrofit of the main hospital

¹ Case Nos. CPC-2021-3512-VZC-VCU and CPC-2008-619-ZC-DA-M1.

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Page 4

buildings to be completed in fewer phases over a shorter period of time than would otherwise be required if the new wing were not constructed, and would ensure that there would be no overall reduction in patient beds and operating rooms for the duration of the seismic retrofit of the existing hospital buildings.

Since the date of Cedars-Sinai's last report regarding its good faith compliance with the terms and conditions of the Development Agreement, the following activities have occurred in furtherance of the development of the Master Plan facilities:

1. Cedars-Sinai continues to refine the wayfinding signage program to direct visitors to the various Medical Center facilities as required by Condition 21 of Ordinance 180,709. In connection with this effort, representatives from Cedars-Sinai previously traveled to other medical centers to study elements of effective wayfinding programs. This included a study of the one of the world's largest and most prestigious healthcare institutions, the University of Texas MD Anderson Cancer Center, which has implemented an award-winning unified and highly recognizable wayfinding program that addresses the needs of users at every possible point of contact. Installation of the wayfinding signs at the Medical Center's Plaza Level was completed at the end of summer 2019. The street-level wayfinding sign plans are currently being reviewed by the Department of Building and Safety. Installation of these signs is expected to commence later this year.

In addition, the wayfinding program has been undertaken for Cedars-Sinai's facilities located in West Hollywood. Cedars-Sinai received approvals for this work from the City of West Hollywood, and has installed several wayfinding signs in West Hollywood, adjacent to the Medical Center.

2. As required by Section 3.2.a of the Development Agreement, Cedars-Sinai provided and will continue to provide assistance to specific community programs relating to the mission of Cedars-Sinai.
3. As required by Section 3.2.b of the Development Agreement, Cedars-Sinai continued its participation in the Los Angeles County Trauma System as a Level One Trauma Center, as certified by the Emergency Medical Services Agency of the Los Angeles County Department of Health Services.

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4. As required by Section 3.2.c of the Development Agreement, Cedars-Sinai continued to maintain a qualified 24-hour Basic Emergency Department, certified as such by the California Department of Health Services.
5. Pursuant to Section 3.2.d of the Development Agreement, Cedars-Sinai agreed to make available up to 1,500 square feet of floor area to the City for use as a temporary community police facility. However, we understand that the establishment of new community police facilities has been put on hold due to a lack of official policies regarding the establishment and operation of these types of police facilities and that the City Council, the Police Department, and the City Attorney are reviewing policies pertaining to community police facilities. Cedars-Sinai will make space available within the Medical Center for the police facility when requested to do so by the Police Department or the Council Office.

In addition, although not specifically required by the Development Agreement, Cedars-Sinai has undertaken significant efforts in response to the current COVID-19 crisis in Los Angeles, consistent with the critical role Cedars-Sinai has played for more than 100 years in meeting the healthcare needs of the greater Los Angeles community. Some key highlights of Cedars-Sinai's response are as follows:

1. Cedars-Sinai has administered over 106,000 COVID-19 vaccinations as of the end of May 2021. This includes:
 - Over 69,000 vaccinations administered at the Medical Center and in a drive-through clinic at the Beverly Center;
 - In partnership with the LAUSD, over 37,000 vaccinations administered to LAUSD teachers and staff at the SoFi Stadium in Inglewood; and
 - A pop-up vaccination clinic in South Los Angeles in partnership with Martin Luther King Community Healthcare and Boys & Girls Clubs of Metro Los Angeles.
2. Supported Los Angeles County drive-through testing for more than 13,000 patients.
3. Cedars-Sinai quickly erected tents in the Emergency Department parking lots in order to expand capacity and triage patients presenting with COVID-19 signs and symptoms.
4. Cedars-Sinai increased its bed capacity from 890 licensed beds to nearly 1,300 beds, using all available/usable Medical Center space, providing care for more than 3,300 hospitalized COVID-19 patients through the end of May 2021.

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July 22, 2021
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5. Cedars-Sinai created cohort ICU and ward units to care for suspected or confirmed COVID-19 patients.
6. Cedars-Sinai cancelled all non-emergency/urgent surgical and procedural volume to ensure the Medical Center had the capability to manage a COVID-19 surge.
7. Cedars-Sinai worked closely with hotels throughout the region to establish a program for its physicians and staff in order to provide a safe, clean place for them to stay while caring for COVID-19 suspected or confirmed patients at the Medical Center.
8. More recently, Cedars-Sinai served as a destination to meet a desperate call for help from an overrun and overwhelmed Imperial County hospital infrastructure to take patients who were COVID-19 confirmed.

Cedars-Sinai will continue to respond to the COVID-19 crisis, consistent with its mission to improve the health status of the communities it serves.

In accordance with Section 3.1.1, Cedars-Sinai has used its best efforts, in accordance with its own business judgment and taking into consideration market conditions and other economic factors influencing Cedars-Sinai's business decisions to commence or continue development, to build the Project in accordance with the terms and conditions of the Development Agreement and with the conditions established in the Project Approvals and the Applicable Rules.

In light of the above-described actions undertaken by Cedars-Sinai, Cedars-Sinai has amply demonstrated good faith compliance with the terms and conditions of the Development Agreement, and we respectfully request that the Director of Planning concur pursuant to Section 4.1.4 of the Development Agreement.

Sincerely yours,

Jeffrey S. Haber

Jeffrey S. Haber
of PAUL HASTINGS LLP

cc: Cedars-Sinai Medical Center

EXHIBIT A

<p align="center">Cedars-Sinai Master Plan Authorized Development (Approximate Square Feet – LAMC Floor Area)</p>								
Permitted Development Rights under Master Plan	Computer Room 1993	Pediatric Balcony Enclosure 1994	Emergency Room Expansion 1995	Spielberg Elevator 1999	Imaging Building 2000	Saperstein Critical Care Tower 2003	Advanced Health Sciences Pavilion 2009	Remaining Development Rights 2017
Medical Suites (209,000)							118,420	90,580
Diagnostic (90,000)					12,000		44,500	33,500
Support (41,000)					14,378		15,600	11,022
Organ Transplant (170,000)						59,849	110,151	0
Rehabilitation (127,500)							94,500	33,000
Imaging (21,000)					21,000			0
Administrative (23,300)		1,000	6,405	628			10,149	5,118
Emergency Room (3,700)			3,590					110
Computer Service (14,500)	14,500							0
Inpatient (200,000)								200,000
Total (900,000)	14,500	1,000	9,995	628	47,378	59,849	393,320	373,330